



CLIVE PLANNING & ZONING COMMISSION

AGENDA, REGULAR MEETING

1900 NW 114th Street

July 7, 2026 5:30 PM

This meeting will be conducted in-person in the Council Chambers and virtually via Zoom platform. To participate virtually use the following link:

<https://us06web.zoom.us/j/81557395531>

Call to Order/Roll Call

Action Items

1. Approve Meeting Minutes - 06/02/2026
2. Site Plan Amendment - 1229 NW 86th St - Discount Tire

Presentation and Discussion

Staff Report

Adjournment



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: July 7, 2026

RE: Approve Meeting Minutes - 06/02/2026

Staff recommends approval of the June 2, 2026 meeting minutes.

Attachments:

1. PZ Minutes 06022026

CLIVE PLANNING & ZONING COMMISSION MEETING MINUTES
REGULAR MEETING
JUNE 2, 2026
COUNCIL CHAMBERS

Call to Order/Roll Call

Vice-Chair Correa presided and called the meeting to order at 5:30pm. This meeting was held in the City Hall Council Chambers. Public access was provided in-person at City Hall and via Zoom. Information on how to access via Zoom was provided on the city's website and on the agenda. The meeting was recorded.

PRESENT: Marcia Hunter, Jeffrey Anderzhon, Chris Panzi (5:32), Lindsay Brandon, Julie Correa

ABSENT: Michael Alowitz, Milagros Ortiz

STAFF: Amanda Grutzmacher, Kathryn Purvis

Action Items

1. Approve Meeting Minutes - 05/05/2026
Lindsay Brandon moved approval, seconded by Marcia Hunter.
Roll Call: Ayes: Marcia Hunter, Jeffrey Anderzhon, Lindsay Brandon, Julie Correa.
Nays: None. Abstained: None.
Motion Passed.
2. Site Plan - Ivory Lotus Therapy - 16360 Sheridan Ave
Grutzmacher presented the staff report for Ivory Lotus Therapy at 16360 Sheridan Avenue. The Commission generally discussed the shared parking and access throughout the development, adjacent development coordination, number of tenant spaces and occupancy plans, garbage location and pickup procedure.
Grutzmacher recommended approval of the site plan subject to resolution of outstanding staff comments; it was not expected the remaining comments would impact the site layout.

Jasmina Pajazetovic, applicant and owner, introduced herself and stated she is excited to bring her business Clive.

Marcia Hunter moved approval, seconded by Lindsay Brandon.

Roll Call: Ayes: Marcia Hunter, Jeffrey Anderzhon, Chris Panzi, Lindsay Brandon, Julie Correa. Nays: None. Abstained: None.

Motion Passed.

Presentation and Discussion

none

Staff Report

Grutzmacher provided an update on current and upcoming projects and stated that staff has relocated back to the main city hall facilities.

Adjournment

Being no further business, the meeting was adjourned at 5:46 pm.



Staff Report

TO: Planning and Zoning Commission members

FROM:

Kathryn Purvis, Planner

DATE: July 7, 2026

RE: Site Plan Amendment - 1229 NW 86th St - Discount Tire

GENERAL INFORMATION

Applicant: Kinetic Design on behalf of Discount Tire

Requested Action: Approval of Site Plan Amendment for building addition

Location: 1229 NW 86th Street

LAND USES & ZONING			
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Commercial - Retail/Services	Mixed Use	TC3 FF and FW Overlay
North	Open Space	Open Space	PUD FF and FW Overlay
East	Open Space	Open Space	PUD FF and FW Overlay
South	Commercial - Retail/Services	N/A - West Des Moines	N/A
West	Commercial - Retail/Services	Mixed Use	TC4 FF Overlay

CASE HISTORY

1972 - property originally developed with convenience store, no record of site plan

1988 - site plan amendment for changes to approaches

1992 - site plan amendment for expansion and upgrades

2015 - site plan for Discount Tire redevelopment

BACKGROUND

The subject property was originally developed as a convenience store in 1972 and continued to operate as that use until 2015 when Discount Tire purchased the site for redevelopment. The entire NW 86th Corridor was rezoned in 2005, in accordance with the Master Plan adopted in 2004. In 2015, an amendment to the TC-3 zoning

regulations was approved which allowed for more auto oriented uses. Following City approvals, the property was redeveloped and opened as Discount Tire in 2016. The Clive location has been successful and is in need of a small building addition to support used tire storage.

ANALYSIS

The site currently houses a main building 7,490 square feet in size, and a brick dumpster enclosure. This request includes three construction elements: adding approximately 900 square feet to the main building for tire storage, rebuilding the dumpster enclosure in a new location, and removing and rebuilding a portion of the retaining wall. A new 4-foot-wide egress path will be poured around the outside edge of the addition into the parking lot to maintain access to the existing entrance on the east facade.

The addition will be constructed as an extension to the single floor portion of the building to the east, where the existing dumpsters currently sit. The new dumpster enclosure will be sized to house two bays to match the existing size, but has been shifted east to accommodate the building addition. The relocation of the dumpster enclosure does not require additional pavement to be added to the site.

Retaining Wall

The applicant has noted that the block wall likely has tiebacks that will be disturbed when the foundations for the building addition and new dumpster enclosure are installed, requiring the removal and replacement of a portion of the wall to ensure it is structurally sound. Due to the proximity of the retaining wall and new structures, structural plans and engineer stamped calculations will be required for permit approval and reviewed in conjunction with the building plans.

Architecture

Both the building and new dumpster enclosure will replicate the existing building exterior. Sioux City Brick in Red Dessert Range and Mission Pink Velour will be the primary material with a 3-foot band of split face and burnished concrete masonry unit (CMU) at the bottom of the building and enclosure. An architectural band and cornice of EIFS are proposed to continue the existing building elevation and adhere to the 86th Street Design Standards. The dumpster enclosure doors are proposed to be corrugated metal decking welded to the gate framing, replicating what is on the site today.

Photometric

The addition includes one additional wall-mounted downcast light which will match the existing building lighting. Based on the specifications provided, Staff does not believe the proposal requires the preparation of a new photometric plan as the addition of the light will have a nominal impact and does not have a cast that reaches the property line.

Parking and Access

The existing site has 30 total parking spaces, which is in excess of the required parking. As this addition is an extension of the service area, but not an addition of a service bay, no additional parking is needed on the site and the minimum parking requirement remains 22 spaces. The proposal for the addition removes 3 spaces in order to relocate

the dumpster enclosure. However, the remaining 27 spaces adequately address the minimum parking requirement for the site. No accessible stalls are being removed. No changes to the site access are being proposed.

Utilities

Existing sand and oil separators are currently located to the south-east of the building. The addition will not require changes to the location or size of the separators. However, guidance has been provided to avoid driving heavy vehicles over the interceptor openings to avoid any potential damages. No changes in the existing public or private service extensions are required. The fire suppression system will be extended into the addition.

Stormwater

The proposal does not meet the minimum threshold to require additional stormwater management practices. Inlet protection is proposed in accordance with typical SWPPP practices during construction.

Floodway Fringe Requirements

The site is located within the Special Flood Hazard Area of Clive, with a portion of the site being in the Floodway. At the time of original construction, staff had the currently effective FIRM available, though it was not formally adopted until 2019. The building was constructed in conformance with the current minimum finished floor elevation of 840.9 and the addition can be constructed to match the existing building floor elevation. The applicant is aware of the sensitive nature of the floodplain and has identified that all updates are outside the identified Floodway.

PUBLIC COMMENT

Notice was sent to the surrounding property owners within 310-feet of the subject site on June 23, 2026. To date, staff has not received any comments.

STAFF RECOMMENDATION

Staff recommends approval of the site plan amendment. There are no outstanding staff comments. However, coordination is required during building plan and permit review for verification of the retaining wall reconstruction.

Attachments:

1. Meeting Notices and Recipients
2. COMMENT REPOSENSE LETTER
3. ARCHITECTURAL PLANS
4. CIVIL PLANS
5. LIGHTING SPECIFICATIONS



June 23, 2026

Re: 1229 NW 86TH ST - Discount Tire Building Addition

Dear Property Owner:

Discount Tire has submitted a Site Plan to the City of Clive to add approximately 900 square feet of tire storage to the east side of the building located at 1229 NW 86th Street.

The Clive Planning and Zoning Commission will tentatively receive public input on this application during their meeting at 5:30 p.m., Jul 07, 2026. You may attend this meeting in person in the City Council Chambers, 1900 NW 114th Street, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. Meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by virtually attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Clive, City Planner, 1900 NW 114th Street, Clive, IA 50325 or by email at the address below.

Following the Planning and Zoning Commission's review and recommendation, the City Council will make a determination on this application. The public meeting has been tentatively scheduled for 6:00 p.m., on Jul 23, 2026, also to be hosted in person at the above address and virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. City Council meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council's meeting. If you have any questions concerning this application or if you would like additional information, please call the Community Development Department at (515) 223-6221.

Sincerely,

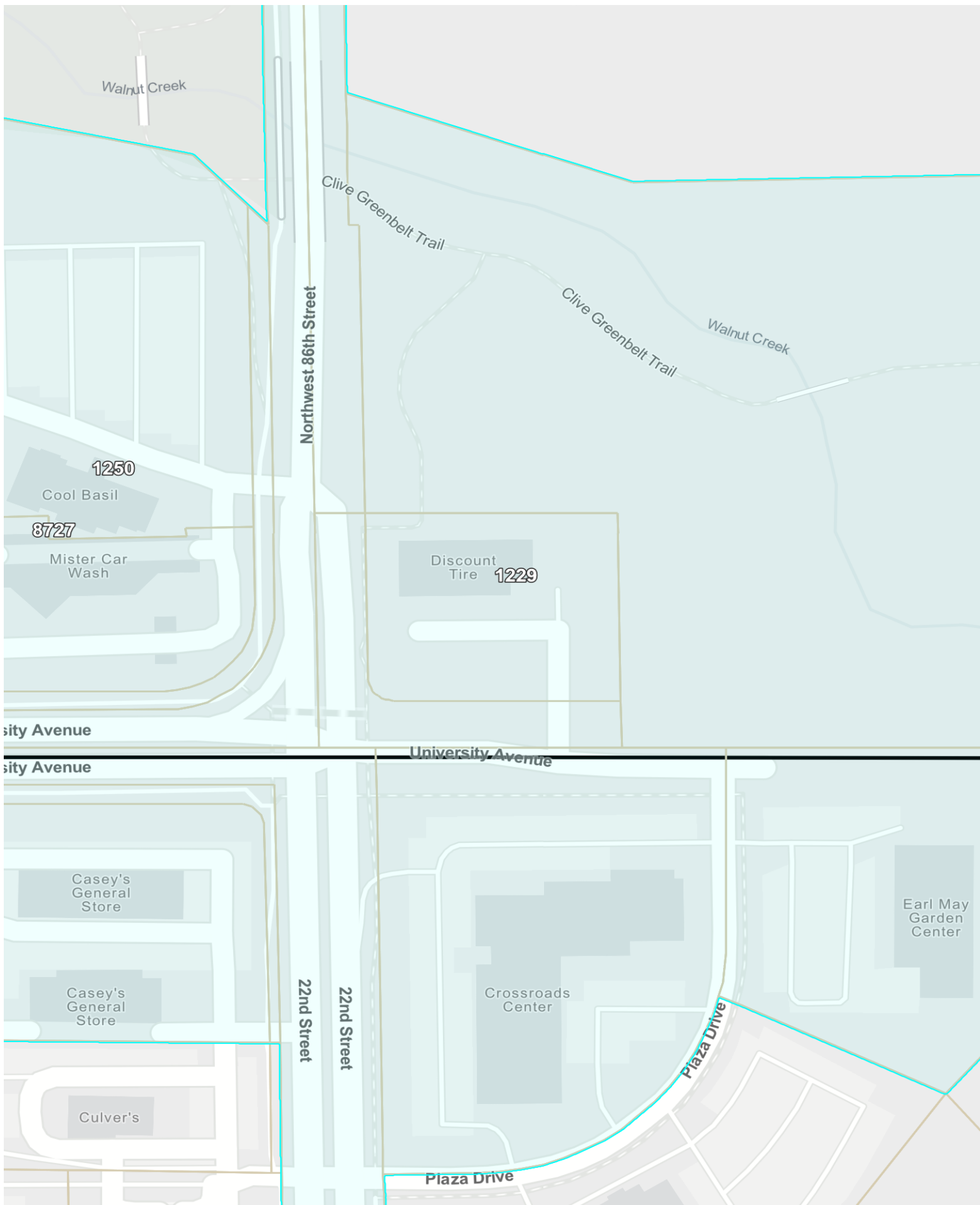
A handwritten signature in dark ink that reads "Kathryn Purvis".

Kathryn Purvis

KPURVIS@CITYOFCLIVE.COM

LOCATION MAP





PERFECT PLACE PROPERTIES LLC
1250 NW 86TH ST
CLIVE, IA 50325-1006

CITY OF CLIVE
1900 NW 114TH ST
CLIVE, IA 50325-7077

HALLE PROPERTIES LLC
20225 N SCOTTSDALE RD
SCOTTSDALE, AZ 85255-6456

CITY OF WEST DES MOINES
PO Box 65320
WEST DES MOINES, IA 50265-0320

BJ'S ENTERPRISES LC
208 N ELM ST
SHENANDOAH, IA 51601-1140

NATIONAL RETAIL PROPERTIES LP
450 S ORANGE AVE STE 900
ORLANDO, FL 32801-3339

CASEY'S MARKETING COMPANY
PO BOX 54288
LEXINGTON, KY 40555-4288

UNIVERSITY FINCL GROUP
3928 140TH ST
URBANDALE, IA 50323-2486



June 23, 2026

Steve Appel
29833 Santa Margarita Pkwy., Suite 300
Rancho Santa Margarita, CA 92688

Re: 1229 NW 86TH ST - Discount Tire Building Addition - Site Plan Amendment

The Community Development Department is in receipt of an application for Site Plan Amendment for the proposed Discount Tire Building Addition located at 1229 NW 86TH ST. Based on the review of the provided submittal materials, staff have the following comments:

- :
 1. The proposed work does not necessitate any additional stormwater management and does not appear to change any stormwater utilities. If, through the course of future submittals, any pipes are to be added or changed, please flag it for staff review. [Acknowledged](#)
- **Architectural and Building Specifications:**
 1. Please include the Brick Veneer details- brand/manufacturer and color code- existing building a combination of Sioux City Brick in "Red Desert Range" and "Mission Pink Velour". Please ensure other colored materials are made to match the existing building : previous elevations included "SW oak barrel, burgundy, Antique White, Worsted Tan". This includes the new Trash Enclosure.
[THE FF. MATERIALS MENTIONED ABOVE HAVE ALL BEEN CALLED OUT ON SHEET A.2 - CONCEPTUAL ELEVATIONS.](#)
[CORRECTIONS DONE THRU COLOR/PAINT NOTES & GENERAL FINISH NOTES UPDATE.](#)
 2. please provide a cut sheet or the brand/style/type for the proposed overhead light on the addition
[Lighting specifications have been provided as a separate document.](#)
- **Cover Page:**
 1. Please add the Clive Site Plan and Construction Drawing Standard Notes to the plan set. Notes can be found in the Development Standards Manual Appendices at <https://cityofclive.com/developmentstandardsmanual>
[Notes added to C000](#)
 2. Add the following note to the cover sheet: SUBJECT PROPERTY IS LOCATED IN UNSHADED ZONE 'AE' (AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF CLIVE, POLK COUNTY, IOWA, MAP PANEL 19153C0326F WITH AN EFFECTIVE DATE OF 2-1-2019.
[Note added to C000](#)
- **Details:**
 1. Staff would like to understand why the retaining wall is being replaced. Please provide clarification.
[The block wall likely has tie backs which will be disturbed when the foundations for the building and trash enclosure are installed.](#)

- **Dimension Plan:**

1. C200: Please provide the existing floodway fringe boundary to ensure the replaced retaining wall is outside of the floodway.
[This is now shown on all civil sheets in red.](#)
2. A retaining wall detail is required. Per the City's Development Standards Manual, retaining walls that are not laterally supported at the top and that retain in excess of 48" of unbalanced fill shall be designed in accordance with accepted engineering practices to ensure stability against overturning, sliding, excessive foundation pressure and water uplift. Retaining walls shall be designed for a safety factor of 1.5 against lateral sliding and overturning.
[This note was added to C200](#)

- **Review Comment:**

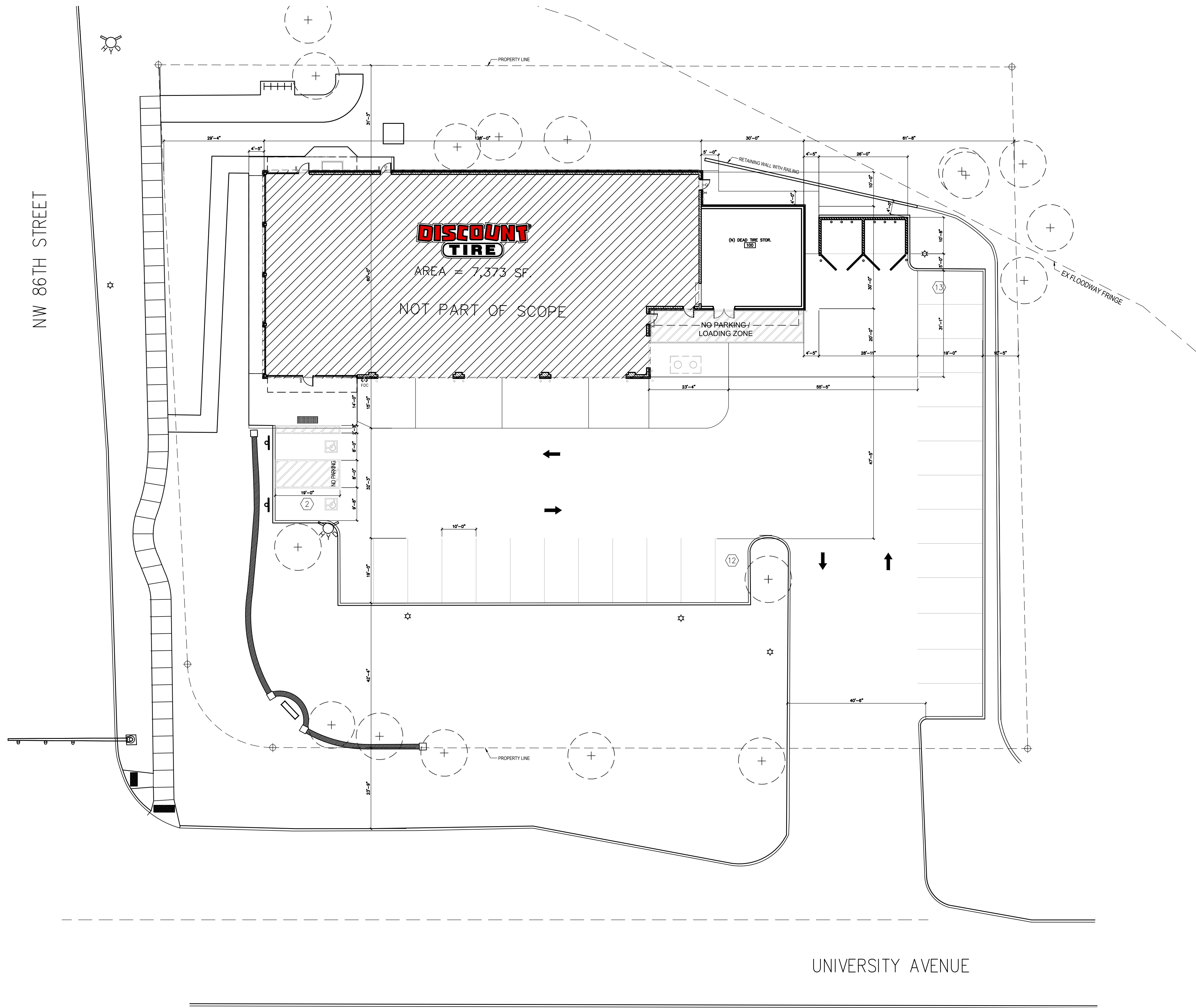
1. Waiting for a hazard determination for tires stored in the floodplain. New addition floor may need to be elevated higher than 840.9' dependent on the determination.
[Based on further follow up with the city, there is no hazard concern for tire storage and the first floor elevations can match](#)
2. Structural plans and calculations shall be submitted for the building addition and retaining wall due to the relative closeness to the building footing. These submittals can be part of the building plan review process.
[This will take place later. see notes on C200 for the retaining wall.](#)
3. The automatic fire sprinkler system will need extended to the new addition. May want to make sure the existing system is capable of being extended to cover the newly proposed area. Additionally, will the new space be heated?
[Acknowledged. No, the new space will not be heated.](#)
4. Please show the floodway fringe line on the new site plan relative to the placement of the addition and retaining wall.
[This is now shown on all civil sheets in red.](#)

Based on the satisfactory resolution of the above items and resubmittal of the Site Plan Amendment prior to 06/30/2026, it is anticipated that the project would be placed on the 07/07/2026, Planning and Zoning Commission agenda. Please feel free to contact me on the portal or at 515-223-6221 if you have questions or need additional information.

Sincerely,

Amanda Grutzmacher

Senior Planner



Building Area Breakdown	
TOTAL GROUND FLOOR AREA:	8,272.30 S.F.
GROUND FLOOR FLOOR AREA	
'M' OCCUPANCY:	
SHOWROOM:	1235.00 S.F.
OFFICE:	148.40 S.F.
'S-1' OCCUPANCY:	
JANITOR'S ROOM:	26.50 S.F.
SERVICE AREA/TIRE RACKS:	4806.60 S.F.
DEAD TIRE STORAGE (EXISTING):	613.30 S.F.
DEAD TIRE STORAGE (NEW):	955.00 S.F.
(NET AREA/USABLE)	6401.40 S.F.
MEZZANINE LEVEL	
'S-1' OCCUPANCY:	
STORAGE 1:	320.14 S.F.
STORAGE 2:	131.32 S.F.
STORAGE 3:	592.59 S.F.
WALKING GRATE:	1199.40 S.F.
	2243.45 S.F.
TOTAL (NET AREA/USABLE)	10028.25 S.F.

LEGEND:

NOT PART OF SCOPE



SITE PLAN

SCALE: 1/16" = 1'-0"



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TENANT IMPROVEMENT - EXPANSION

1229 NW 86th Street
CLIVE, IA 50325

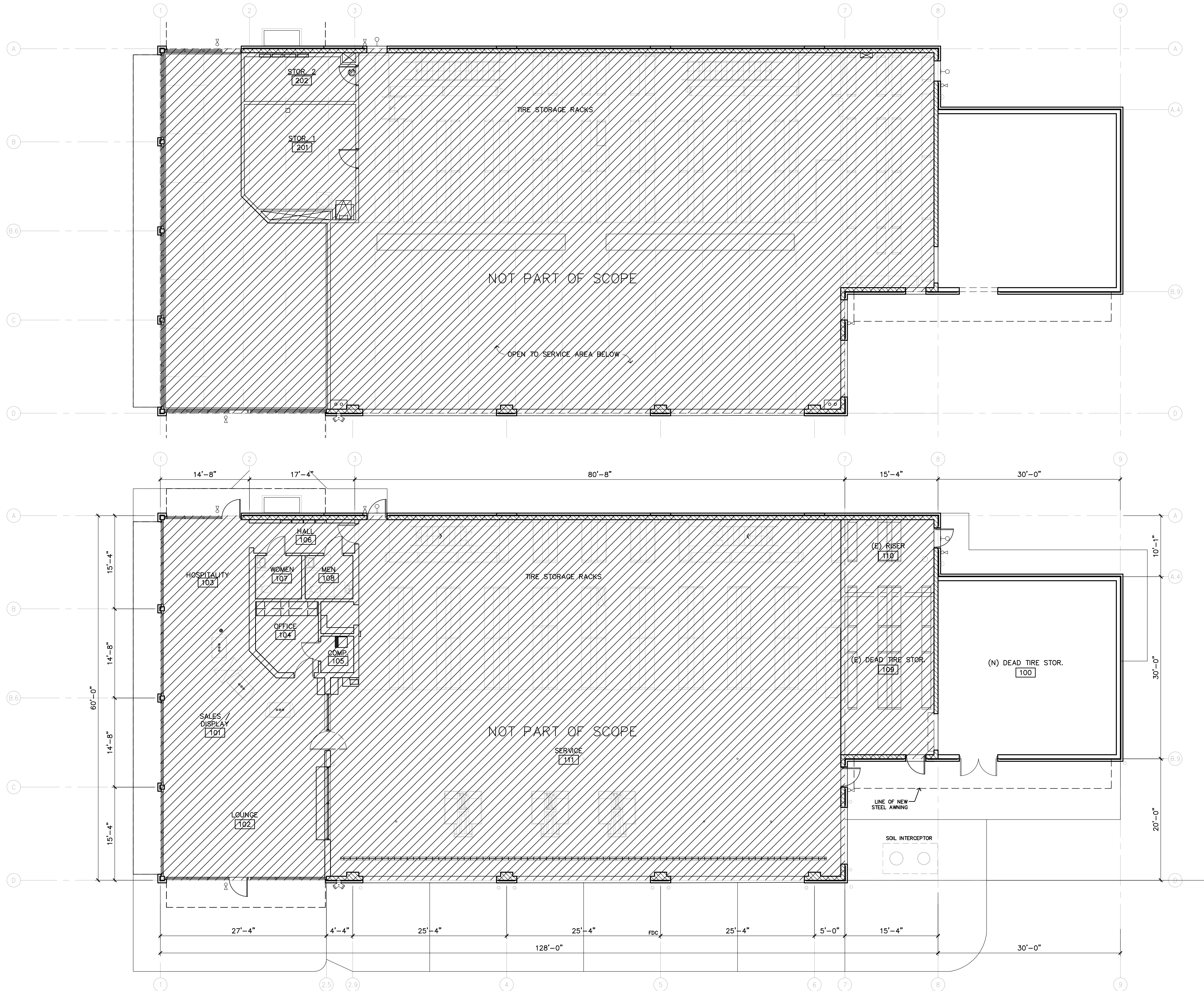


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951-710-6334 (T)

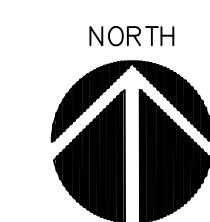
BUILDING MODEL	NON-PROTOTYPE
REVISION	
DATE	2026.06.04
SCALE	AS NOTED
PROJECT NUMBER	IAD 04

Sheet No.

A.0



MEZZANINE FLOOR PLAN

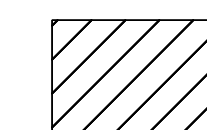


SCALE: 1/8" = 1'-0"

Building Area Breakdown

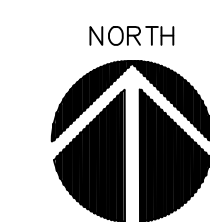
TOTAL GROUND FLOOR AREA:	8,272.30 S.F.
GROUND FLOOR FLOOR AREA	
'M' OCCUPANCY:	1235.00 S.F.
SHOWROOM:	148.40 S.F.
OFFICE:	
'S-1' OCCUPANCY:	
JANITOR'S ROOM:	26.50 S.F.
SERVICE AREA/TIRE RACKS:	4806.60 S.F.
DEAD TIRE STORAGE (EXISTING):	613.30 S.F.
DEAD TIRE STORAGE (NEW):	955.00 S.F.
(NET AREA/USABLE)	6401.40 S.F.
MEZZANINE LEVEL	
'S-1' OCCUPANCY:	
STORAGE 1:	320.14 S.F.
STORAGE 2:	131.32 S.F.
STORAGE 3:	592.59 S.F.
WALKING GRATE:	1199.40 S.F.
	2243.45 S.F.
TOTAL (NET AREA/USABLE)	10028.25 S.F.

LEGEND:



NOT PART OF SCOPE

1ST FLR PLAN EXPANSION



SCALE: 1/8" = 1'-0"



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TENANT IMPROVEMENT - EXPANSION

1229 NW 86th Street
CLIVE, IA 50325

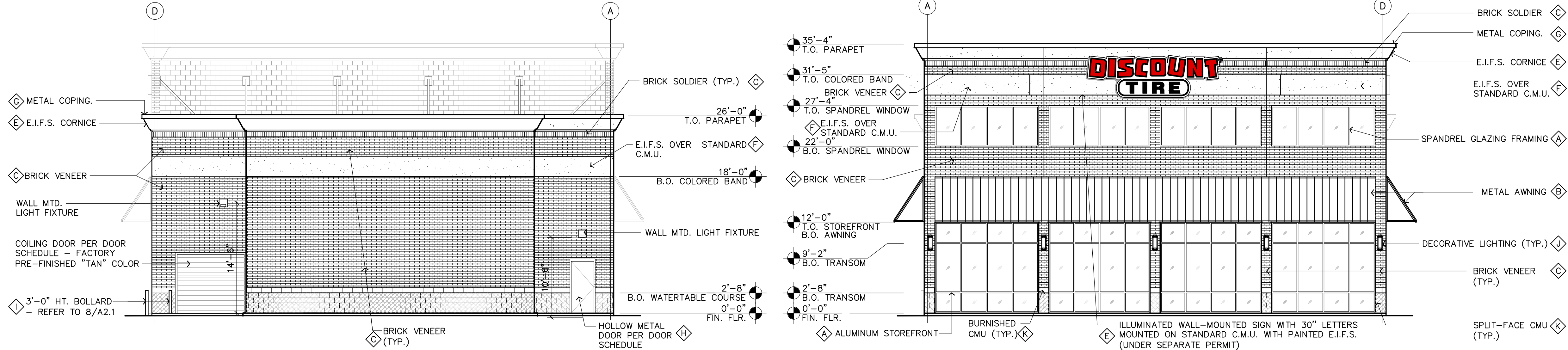


Kinetic Design
29833 Santa Margarita
Pkwy, Suite 300,
Rancho Santa Margarita,
CA 92688
951-710-6334 (T)

BUILDING MODEL	NON-PROTOTYPE
REVISION	
DATE	2026.06.04
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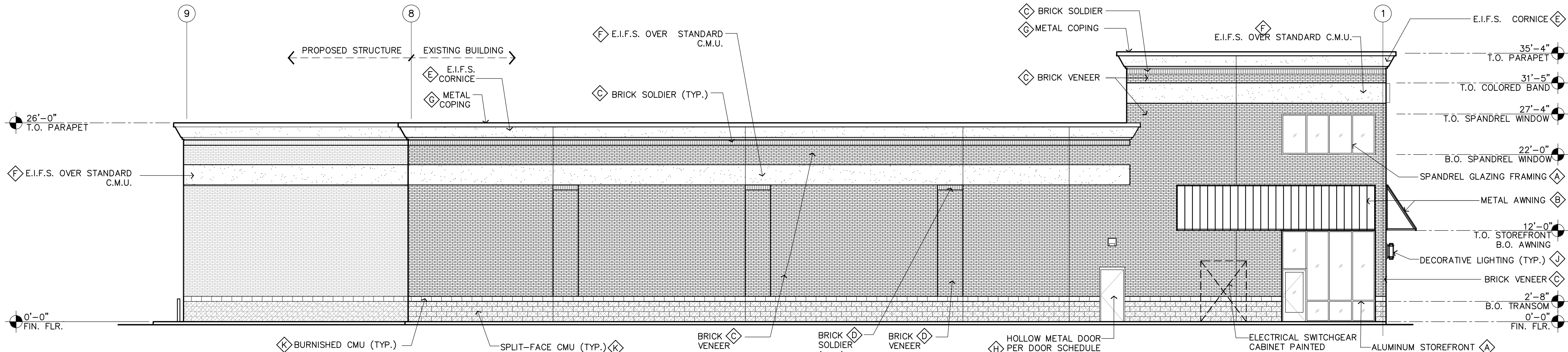
Sheet No.

A.1

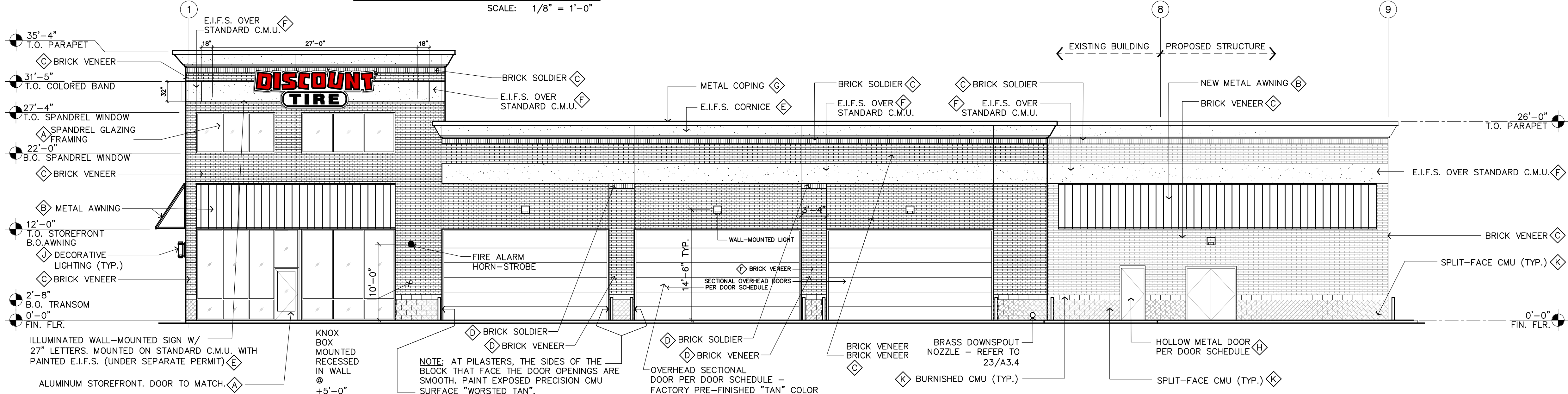


EAST ELEVATION

WEST ELEVATION



NORTH ELEVATION



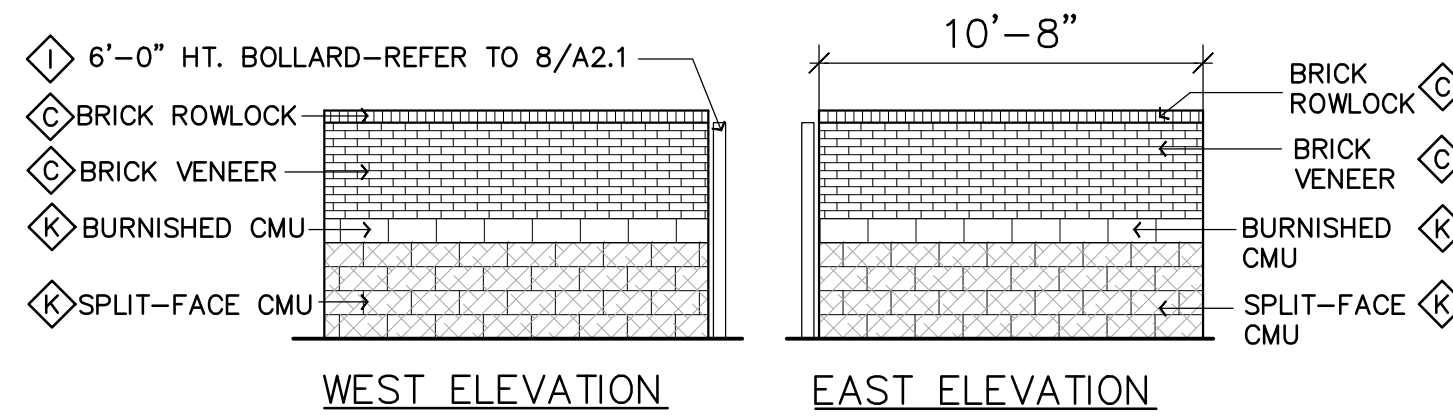
SOUTH ELEVATION

COLOR / PAINT NOTES (FINISH LEGEND)

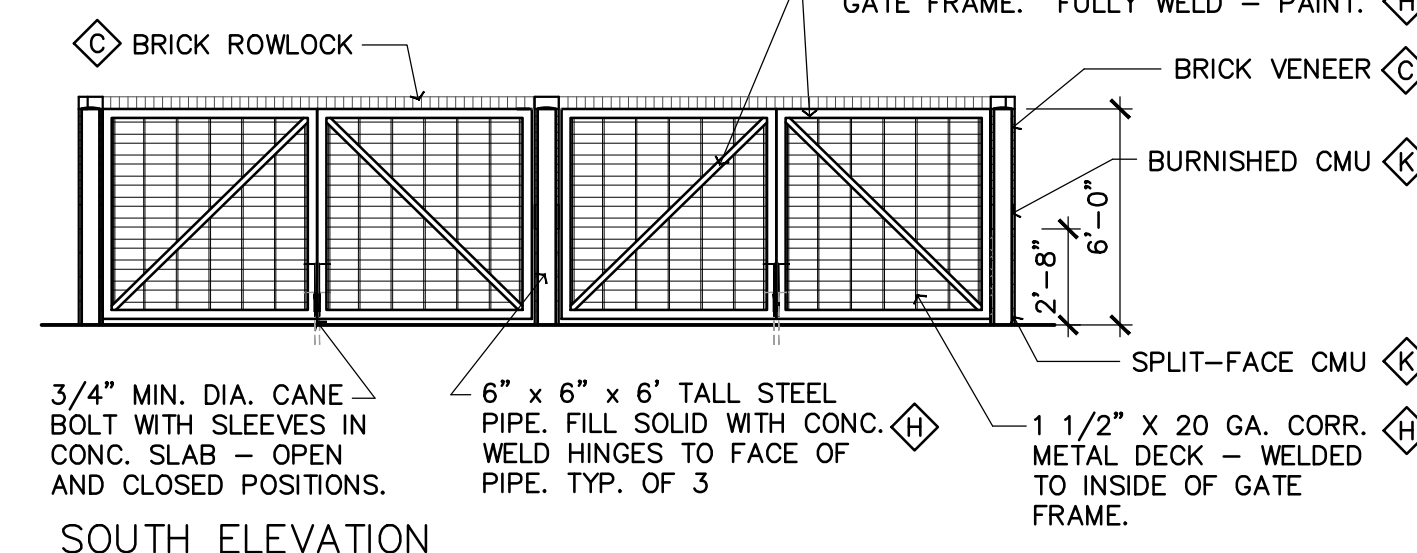
- MANUFACTURER'S STANDARD COLOR TO MATCH PGP, DURANAR UC40597 XL "BANNER RED"
- FACTORY PAINTED/COATED, KYNAR 500/HYLAR 5000 TO MATCH SHERWIN WILLIAMS SW 7714 "OAK BARREL"
- SIoux CITY BRICK "RED DESERT RANGE"
- SIoux CITY BRICK "MISSION PINK VELOUR"
- "ANTIQUE WHITE"
- ACCENT BAND PAINTED "BURGUNDY"
- METAL COPING - FACTORY PAINTED/FACTORY FINISH - "OAK BARREL"
- EXPOSED STEEL, PAINTED TO MATCH "OAK BARREL"
- PAINT BOLLARDS COLOR TO MATCH "OAK BARREL"
- "VENERE VSTL-DS" BY ARCHITECTURAL AREA LIGHTING, FACTORY FINISHED TO MATCH SHERWIN WILLIAMS SW 7714 OAK BARREL.
- INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) TO MATCH "WORSTED TAN"

GENERAL FINISH NOTES

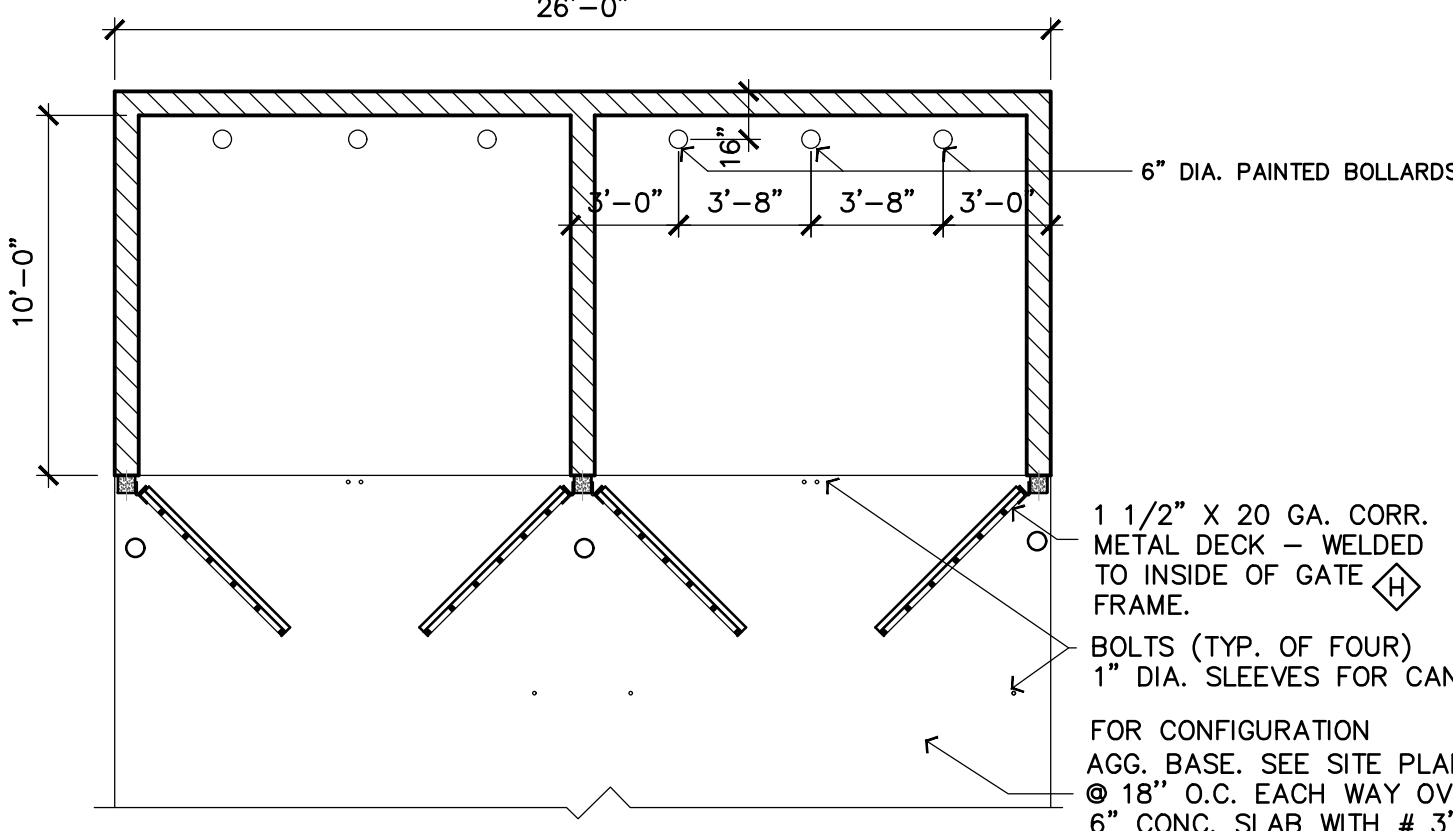
- INTEGRAL COLOR BRICK VENEER
 - BRICK SOLDIER COURSE - INTEGRAL COLOR.
 - VERIFY HEIGHTS OF ALL EXTERIOR LIGHTING FIXTURES WITH ELECTRICAL DWGS.
 - ALUMINUM STOREFRONT TO BE FACTORY FINISH.
 - E.I.F.S. - PROVIDE AS NOTED PER COLOR/PAINT NOTES. MATERIALS AND INSTALLATION PER PROJECT SPECIFICATION, TO PROVIDE DURABLE, WEATHER RESISTANT WALL FINISH. THICKNESS SHALL BE 3/4".
 - OVERHEAD DOORS TO BE FACTORY FINISH. SEE DOOR SCHEDULE.
 - ALL EXPOSED STRUCTURAL STEEL TO BE FACTORY PRIMED - FINISHED PAINTED ON THE JOB SITE.
 - BLDG. SIGNAGE - UNDER SEPARATE PERMIT.
- GENERAL NOTE:
A. DISCOUNT TIRE BUILDING SIGNAGE UNDER SEPARATE PERMIT.
B. ADDRESS SIGN AND LOCATION PER LOCAL CITY CODE.



NORTH ELEVATION



SOUTH ELEVATION



PLAN

TRASH ENCLOSURE PLAN / ELEVATIONS

SCALE: 3/16" = 1'-0"



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CONCEPTUAL ELEVATIONS

1229 NW 86th Street
CLIVE, IA 50325



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29833 Santa Margarita
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BUILDING MODEL	NON-PROTOTYPE
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Sheet No.

A.2

SPECIFICATIONS

GENERAL

- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THEIR PROPOSAL. THEY SHALL BASE THEIR BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL IOWA ONE CALL AT 811 TO NOTIFY THE UTILITIES OF THEIR INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- THE LATEST EDITION AND ANY SUPPLEMENTS OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE IOWA D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION AND THE CITY OF CLIVE SPECIFICATIONS AS APPLICABLE.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. COORDINATE FINAL COLORS WITH OWNER.
- THE LATEST EDITION AND ANY SUPPLEMENTS OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SHALL GOVERN ALL CONSTRUCTION PAVING ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

GRADING

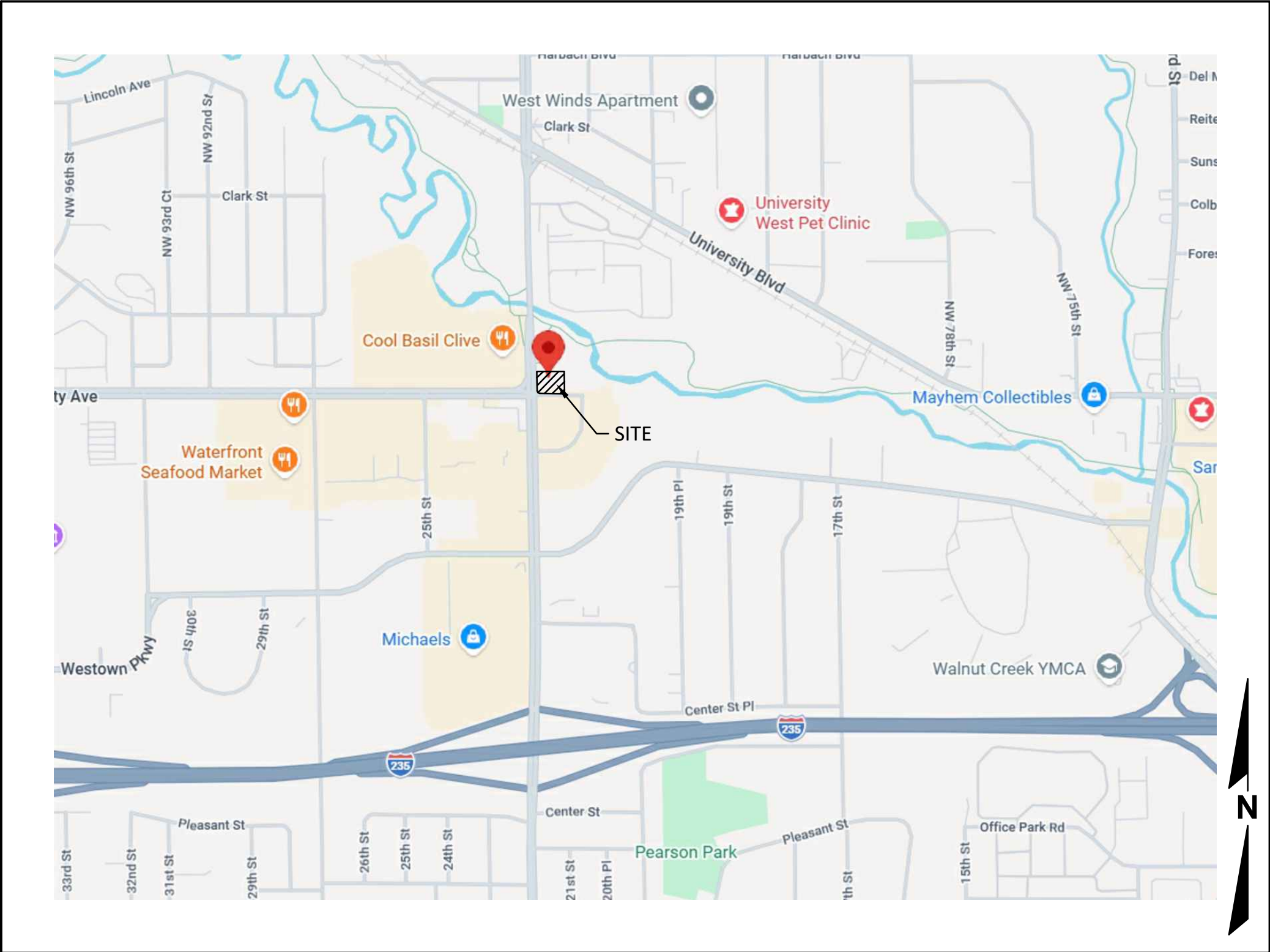
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE IOWA D.O.T. STANDARD SPECIFICATIONS AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- SILT FENCE, INLET PROTECTION, AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- THE LATEST EDITION AND ANY SUPPLEMENTS OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SHALL GOVERN ALL CONSTRUCTION GRADING ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

EROSION CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING IOWA DNR DISCHARGE PERMITS (IF APPLICABLE), AND THE CITY OF CLIVE EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE IOWA DEPARTMENT OF NATURAL RESOURCES STANDARDS.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE EROSION CONTROL PERMIT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR 14 DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE IDNR STANDARDS
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
- ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH IDNR TECHNICAL STANDARDS PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH IOWADNR STANDARDS.
- FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORM SEWER DRAINAGE SYSTEMS DEPOSITED PRIOR TO STABILIZATION OF THE SITE.
- SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- BMP'S SHALL CONFORM TO THE IOWA DEPARTMENT OF NATURAL RESOURCE'S STANDARDS.
- THE LATEST EDITION AND ANY SUPPLEMENTS OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SHALL GOVERN ALL CONSTRUCTION EROSION CONTROL ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

DISCOUNT
TIRE
1229 NW 86TH STREET
CLIVE, IOWA
ENGINEERING PLANS

VICINITY MAP



ENGINEER / LANDSCAPE ARCHITECT:



CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CHRISTOPHER B. WHITE, P.E.
PROJECT MANAGER
PHONE: (262)–317–3286
EMAIL: CHRISTOPHER.WHITE@RASMITH.COM

ROB E. WILLIAMS, PLA, ASLA
LANDSCAPE ARCHITECT
PHONE: (262)–317–3270
EMAIL: ROB.WILLIAMS@RASMITH.COM

DEVELOPER / OWNER:

HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85255
PHONE: (480) 606-6000
FAX: (480) 606-4370

CITY OF CLIVE STANDARD NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLIVE'S DEVELOPMENT REGULATIONS, POLICIES, AND STATEWIDE URBAN DESIGN AND STANDARDS MANUAL (SUDAS).
- ONE WEEK PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF CLIVE. THE CONTRACTOR AND DEVELOPER'S ENGINEER SHALL ATTEND A REQUIRED PRECONSTRUCTION WITH THE CITY PUBLIC WORKS AND ENGINEERING DEPARTMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL SANITARY SEWER, SUMP AND WATER MAIN SERVICES AND VERIFYING LOCATIONS ON THE ASBUILT DRAWINGS.
- RECONNECT ANY FIELD TILE THAT IS INTERCEPTED DURING UTILITY CONSTRUCTION, LOCATION OF FIELD TILE SHALL BE NOTED ON THE AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD.
- PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS, AS-BUILT RECORD DRAWINGS (HORIZONTAL AND VERTICAL AS-BUILT DATA IN STATE PLANE COORDINATES AND NAD83 DATUM) FOR ALL WATER, SANITARY SEWER, STORM SEWER PIPING AND ASSOCIATED APPURTENANCES, AND SITE GRADING WILL BE PROVIDED (VOLUME CALCULATIONS FOR ALL STORM WATER DETENTION FACILITIES SHALL ALSO BE PROVIDED).
- SIDEWALK AND DRIVEWAY APPROACH INSTALLATIONS SHALL BE INSPECTED BY THE CITY OF CLIVE FOLLOWING A MINIMUM 48-HOUR NOTICE.
- THE OWNER/CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
- AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED ON CITY OF CLIVE RIGHT-OF-WAY.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
- OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR CREWS AND EQUIPMENT.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF CLIVE INSPECTORS BASED ON ACTUAL FIELD CONDITION.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY/FINAL PLAT APPROVAL, ALL UTILITY STRUCTURES, MANHOLES, VALVES, INTAKES SHALL BE RAISED LEVEL WITH FINISH GRADE.
- ALL UTILITIES, INCLUDING ELECTRICAL AND TELEPHONE SHALL BE LOCATED UNDERGROUND.
- ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHER LANDSCAPING IS IDENTIFIED ON THE SITE PLAN.
- EXISTING LANDSCAPING SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE DURING CONSTRUCTION.
- ALL TRASH DUMPSTERS SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE.
- ALL ROOF MOUNTED MECHANICAL UNITS AND/OR TELECOMMUNICATION DEVICES OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE OR LANDSCAPING.
- ALL TOPSOIL MUST MEET CLIVE POST-CONSTRUCTION STORM WATER MANUAL. TOPSOIL SHALL BE MINIMUM 4" DEPTH, MINIMUM [2, OR AS INDICATED IN SWMP] % ORGANIC CONTENT, 6.0–8.0 PH, MAXIMUM 25% FRIABLE CLAY CONTENT, AND FREE OF DEBRIS, HARD CLODS, ROOTS, SOD, STIFF CLAY, HARD PAN, AND STONES LARGER THAN 1".
- ALL TOPSOIL MUST MEED IOWA DEPARTMENT OF NATURAL RESOURCES GENERAL PERIT #2 REQUIREMENTS TO MINIMIZE SOIL COMPACTION, DEFINED AS WORKING THE SOIL PRIOR TO SEEDING/SODDING SUCH THAT A PENETROMETER CAN BE INSERTED INTO THE UPPER 6 INCHES WITH LESS FORCE THAN 200 PSO. AS AN ALTERNATIVE TO THE PENETROMETER TEST, A SOIL WITH BULK DENSITY LESS THAN 1.49 GRAMS/CUBIC CENTIMETER SHALL BE DEEMED COMPLIANT WITH THIS REQUIREMENT.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- NO CHANGES TO THE APPROVED PLAN MAY BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- CONTRACTOR, FINANCING AND/OR PROJECT IDENTIFICATION SIGNS SHALL NOT BE INSTALLED ON THE CITY OF CLIVE RIGHT-OF-WAY.
- VALVES INCLUDED IN STORMWATER MANAGEMENT FACILITIES SHALL BE CLOSED AT THE TIME OF FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY/APPROVAL OF FINAL PLAT.

PLAN INDEX

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
C000	TITLE SHEET
---	SITE SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C300	GRADING PLAN

FLOODPLAIN NOTE:

SUBJECT PROPERTY IS LOCATED IN UNSHADED 'ZONE 'AE'
(AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE
FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE
MAPS FOR THE CITY OF CLIVE, POLK COUNTY, IOWA, MAP
PANEL 19153C0326F WITH AN EFFECTIVE DATE OF 2-1-2019.

PLAN DATE: 06/24/2026

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:



Know what's below.
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DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

DISCOUNT TIRE - IAD 04
CLIVE, IA

TITLE SHEET

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 06/24/2026

SCALE: N.T.S.

JOB NO. 3260081

PROJECT MANAGER:
CHRISTOPHER B. WHITE, P.E.

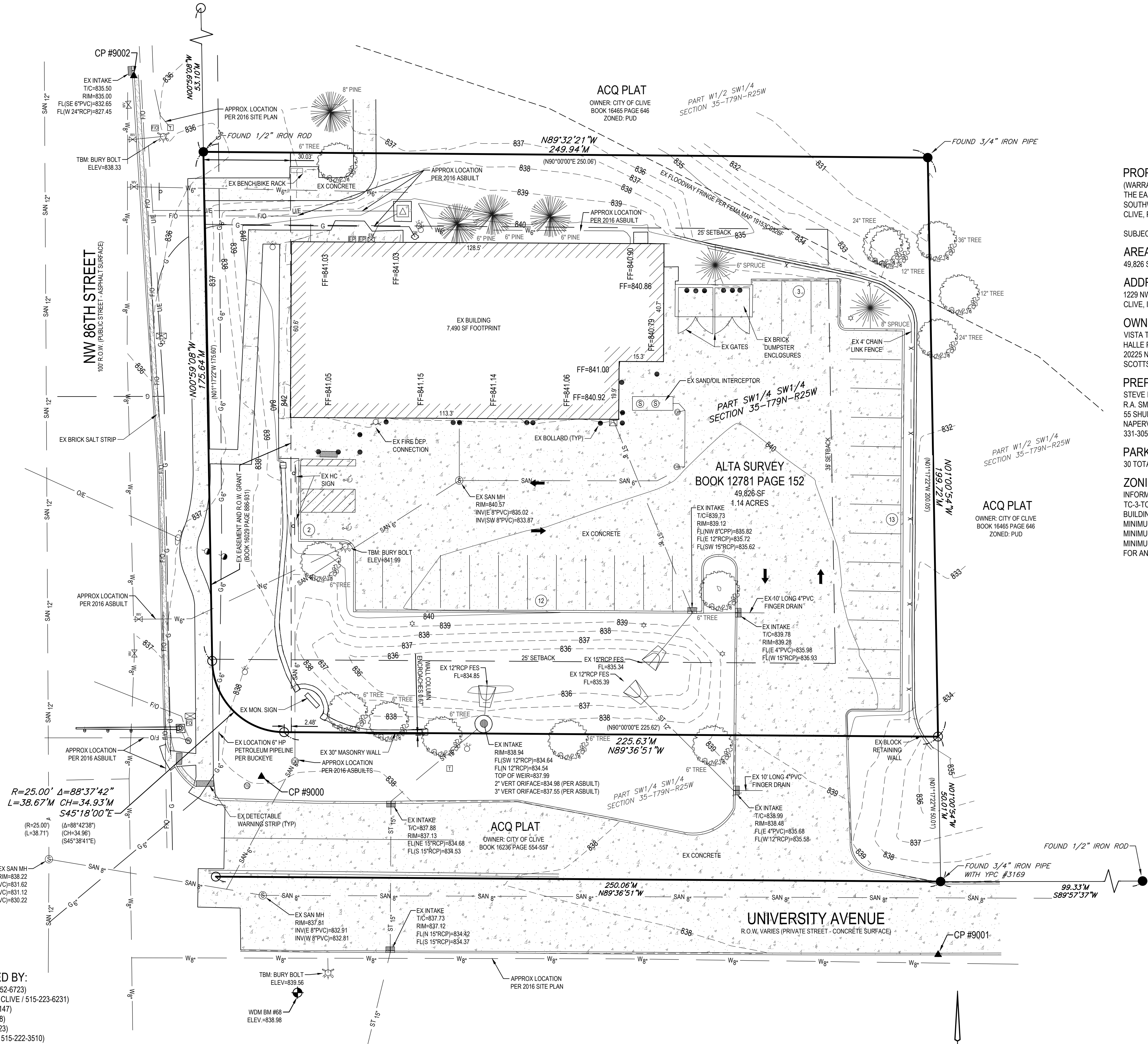
DESIGNED BY: MAF

CHECKED BY: CBW

SHEET NUMBER

C000

DISCOUNT TIRE
SITE SURVEY



PROPERTY DESCRIPTION:
(WARRANTY DEED BOOK 16029, PAGE 878-880)
THE EAST 250 FEET OF THE WEST 300 FEET OF THE WEST 1/2 OF THE
SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE 5TH P.M., CITY OF
CLIVE, POLK COUNTY, IOWA.

AREA:
49,826 SQUARE FEET - 1.14 ACRES

ADDRESS:
1229 NW 86TH STREET
CLIVE, IOWA 50325

OWNER:
VISTA TWO PARTNERS, LLC
HALLE PROPERTIES, LLC
20225 NORTH SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255-6456

PREPARED FOR:
STEVE MCCLARY
R.A. SMITH INC.
55 SHUMAN BOULEVARD, SUITE 375
NAPERVILLE, IL 60563-8467
331-305-6947

PARKING COUNT:
30 TOTAL PARKING SPACES

ZONING:
INFORMATION OBTAINED FROM CITY ONLINE MAP
TC-3-TOWN CENTER - HARBACH COMMERCIAL DEVELOPMENT AREA DISTRICT
BUILDING SETBACKS:
MINIMUM FRONT YARD 0 FEET
MINIMUM REAR YARD 35 FEET
MINIMUM SIDE YARD 25 FEET
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CLIVE AT 515-223-6221

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000
NORTHING = 583,217.17
EASTING = 1,575,895.90
ELEVATION = 838.16
DESCRIPTION: 5/8" REBAR WITH PINK PLASTIC CAP 6±
NORTHEAST OF TRAFFIC CONTROL MANHOLE

POINT #9001
NORTHING = 583,155.74
EASTING = 1,576,129.36
ELEVATION = 838.68
DESCRIPTION: CUT 'X' IN CONCRETE CURB 25± SOUTH OF
PARCEL A SOUTHEAST PROPERTY CORNER

POINT #9002
NORTHING = 583,458.87
EASTING = 1,576,851.86
ELEVATION = 835.49
DESCRIPTION: CUT 'X' IN CONCRETE CURB 1.5± SOUTH OF
CENTER OF CURB INTAKE

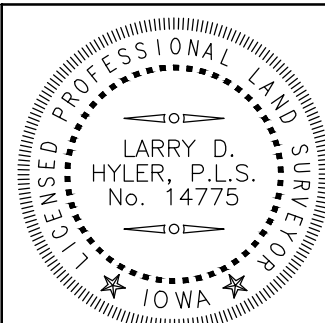
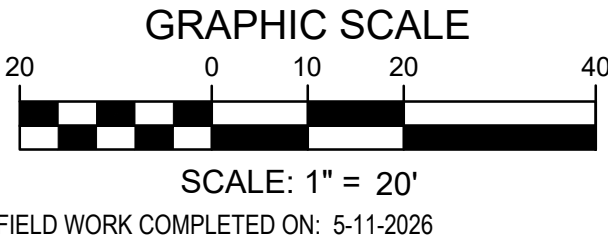
LEGEND		
	SAN	SANITARY SEWER
	ST	STORM SEWER
	W	WATER LINE
	G	GAS LINE
	U/E	UNDERGROUND ELECTRIC
	O/E	OVERHEAD ELECTRIC
	TELE	TELEPHONE LINE
	F/O	FIBER OPTIC
	CATV	CABLE TV
	①	STORM MANHOLE
	⌂	CURB INTAKE
	⌂	SURFACE INTAKE
	△	FLARED END SECTION
	⌂	ROOF DRAIN
	⌂	DOWNSPOUT
	⊙	SANITARY MANHOLE
	⊙	CLEANOUT
	⊙	FIRE HYDRANT
	⊙	SPRINKLER
	⊙	IRRIGATION CONTROL VALVE
	⊙	WATER MANHOLE
	⊙	WELL
	⊙	WATER VALVE
	⊙	WATER SHUT OFF
	⊙	YARD HYDRANT
	⊙	FLAGPOLE
	⊙	ELECTRIC MANHOLE
	⊙	ELECTRIC METER
	⊙	ELECTRIC RISER
	⊙	ELECTRIC VAULT
	⊙	TRANSFORMER POLE
	⊙	TRANSFORMER POLE
	⊙	LIGHT POLE
	⊙	ELECTRIC JUNCTION BOX
	⊙	ELECTRIC PANEL
	⊙	TRANSFORMER
	⊙	GROUND LIGHT
	⊙	GUY WIRE
	⊙	ELECTRIC HANDHOLE
	⊙	GAS METER
	⊙	GAS VALVE
	⊙	AIR CONDITIONING UNIT
	⊙	TELEPHONE RISER
	⊙	TELEPHONE VAULT
	⊙	TELEPHONE MANHOLE
	⊙	TRAFFIC SIGNAL MANHOLE
	⊙	FIBER OPTIC MANHOLE
	⊙	FIBER OPTIC RISER
	⊙	FIBER OPTIC VAULT
	⊙	CABLE TV RISER
	⊙	SIGN
	⊙	BOLLARDS
	⊙	DENOTES NUMBER OF PARKING STALLS
	⊙	PROPERTY CORNER - FOUND AS NOTED
	⊙	SECTION CORNER - FOUND AS NOTED
	⊙	SITE CONTROL POINT - MONUMENT AS NOTED

- UTILITY MAPS PROVIDED BY:**
1. ELECTRIC (MIDAMERICAN / 515-252-6723)
 2. STORM AND SANITARY (CITY OF CLIVE / 515-223-6231)
 3. FIBER OPTIC (LUMEN / 918-547-0147)
 4. CABLE (MIDACOM / 515-991-7388)
 5. GAS (MIDAMERICAN / 515-252-6723)
 6. WATER (WDSM WATER WORKS / 515-222-3510)
 7. FIBER OPTIC (METRONET / 812-213-1050)
 8. FIBER OPTIC (FORGED FIBER / 872-634-9652)
 9. TRAFFIC CONTROL (WDSM TRAFFIC / 515-222-3510)
 10. GAS (BUCKEYE / 610-904-4475)

UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

- NOTES:**
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
 2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: *Larry D. Hyler* DATE: 5-20-2026
LARRY D. HYLER, P.L.S. 14775

LICENSE RENEWAL DATE: DEC. 31, 2026
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1

BISHOP
ENGINEERING +



SITE SURVEY
DISCOUNT TIRE
1229 NW 86TH STREET
CLIVE, IA

REFERENCE NUMBER:

DRAWN BY:
TLK

REVISION DATE:

PROJECT NUMBER:

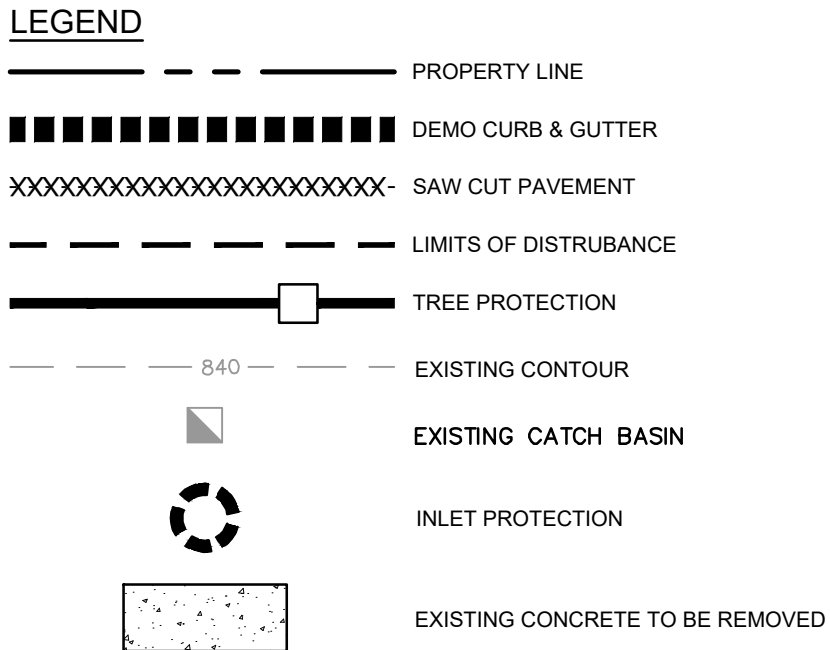
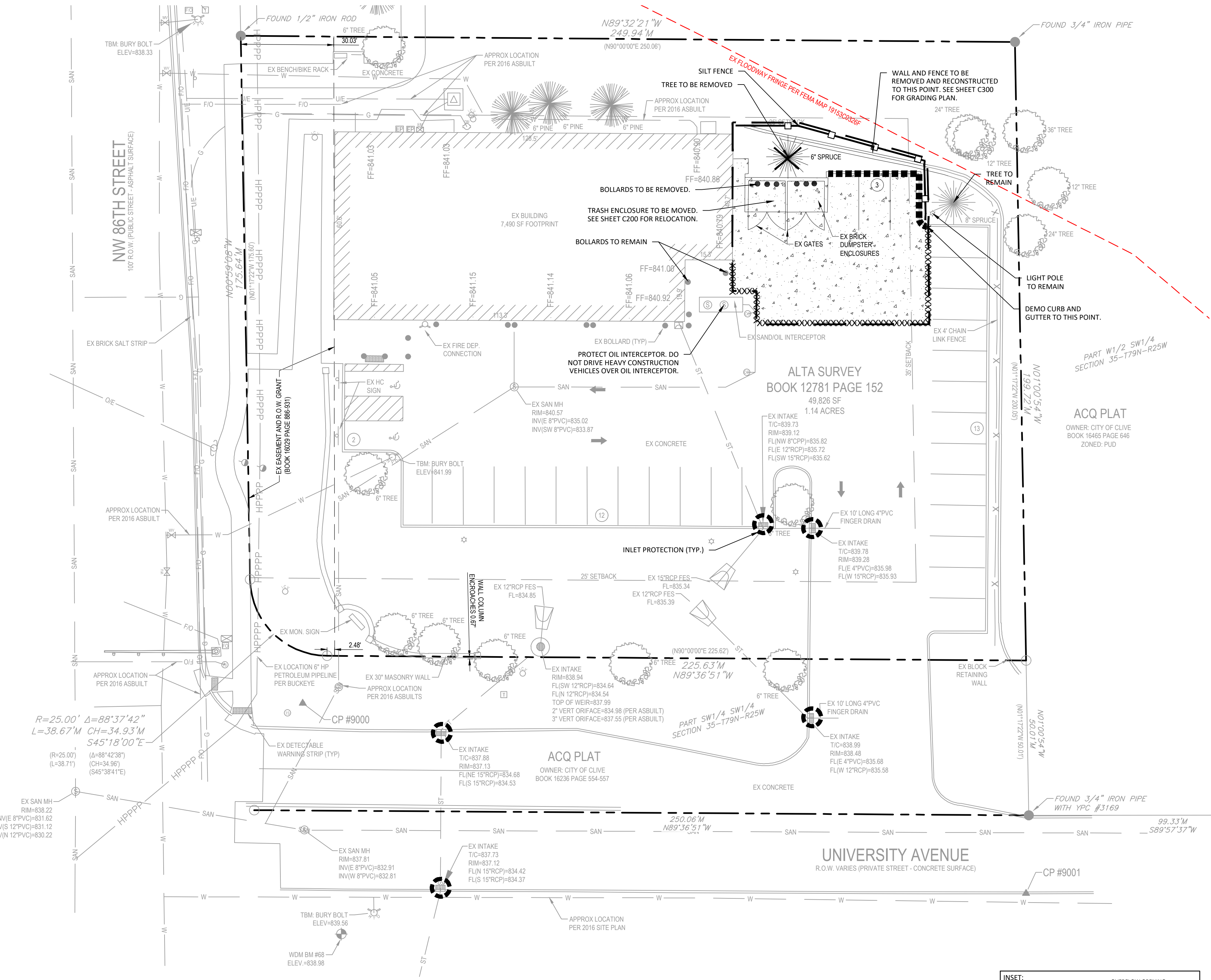
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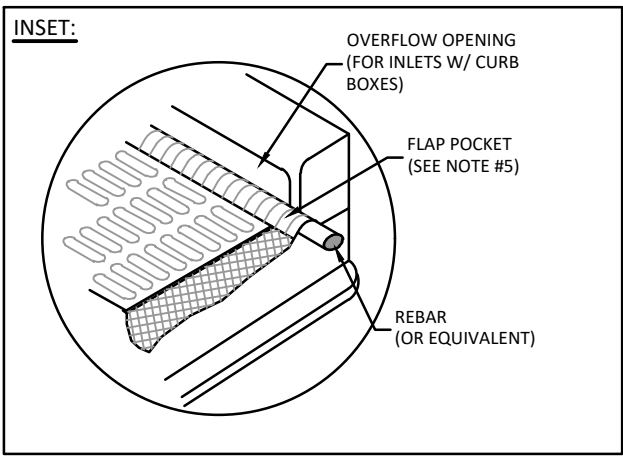
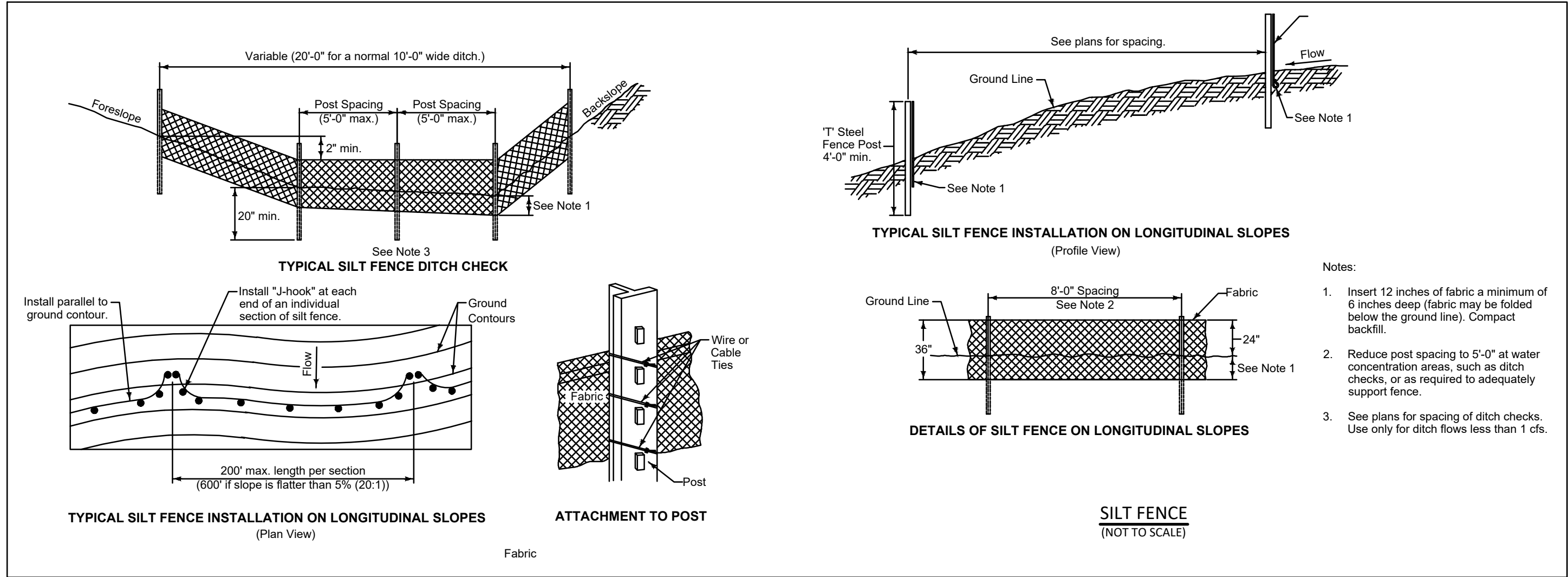
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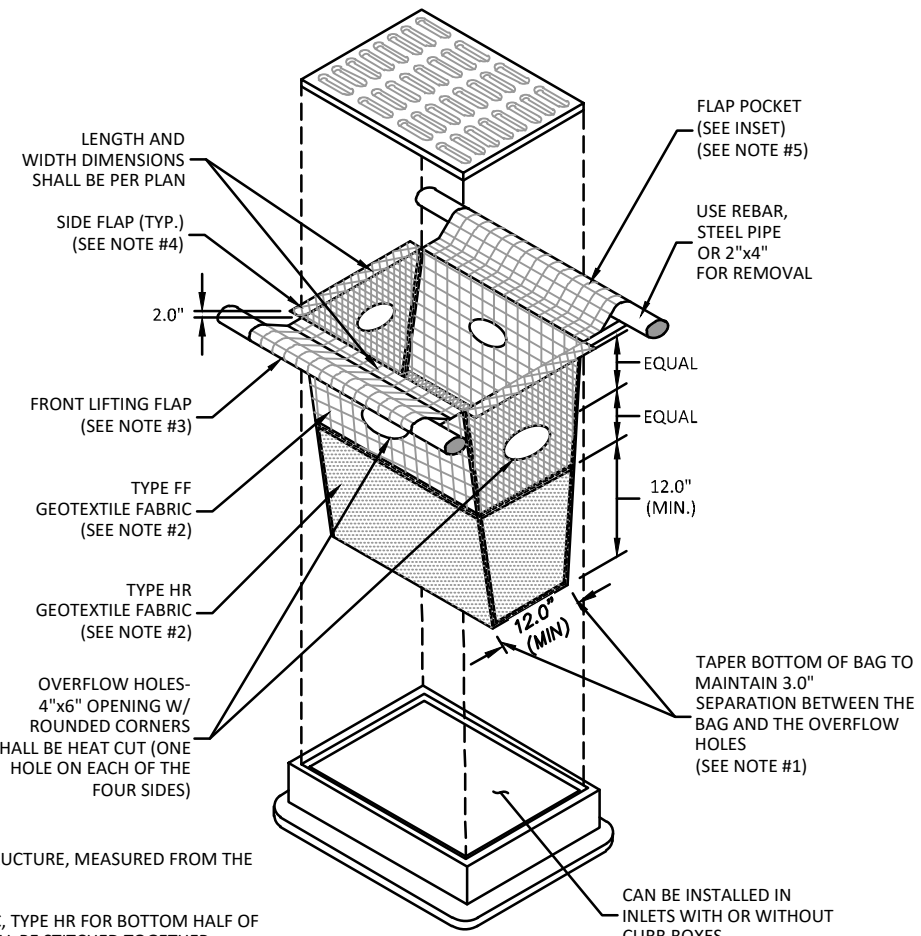
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- EROSION CONTROL SEQUENCE**
1. INSTALL SILT FENCE.
 2. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY
 3. INSTALL STORM DRAIN INLET PROTECTION ON EXISTING INDICATED STORM INLETS.
 4. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs WHEN SITE WORK AND GRADING ALLOWS.
 5. PREPARE BUILDING FOUNDATION AND CONSTRUCT BUILDING.
 6. PREPARE PARKING LOT SUBGRADE, INSTALL CURB AND GUTTER AND PAVE SITE.
 7. APPLY SEED FERTILIZER AND MULCH TO LANDSCAPE LAWN AREAS AS SOON AS POSSIBLE.
 8. FLUSH STORM SEWER.
 9. CONSTRUCTOR SHALL REMOVE ALL REMAINING TEMPORARY EROSION CONTROL BMPs WHEN DISTURBED AREAS ARE STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSIONS.
 10. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN CALENDAR DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.



- MAINTENANCE NOTES:**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE STRUCTURE SHALL BE IMMEDIATELY REMOVED.
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC, TYPE HR FOR BOTTOM HALF OF FILTER BAG WITH FRONT, BACK, AND BOTTOM BEING ONE PIECE. DUAL FABRIC BAGS SHALL BE STITCHED TOGETHER.
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE OF THE CURB FACE OPENING.



STORM DRAIN INLET PROTECTION TYPE D-HR
NOT TO SCALE



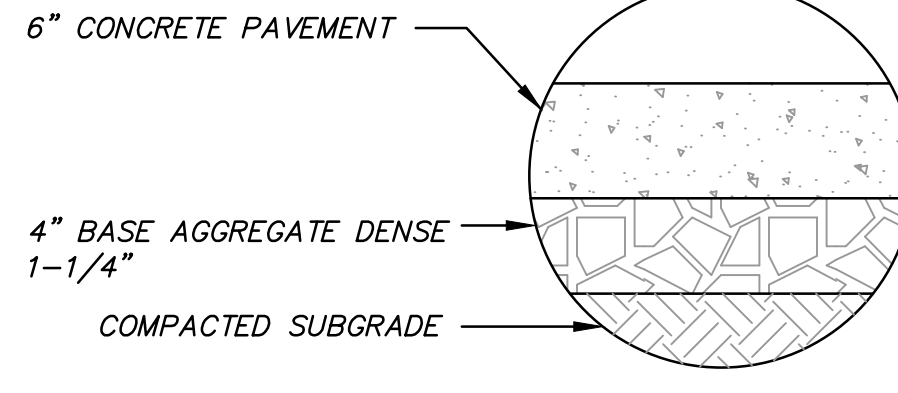
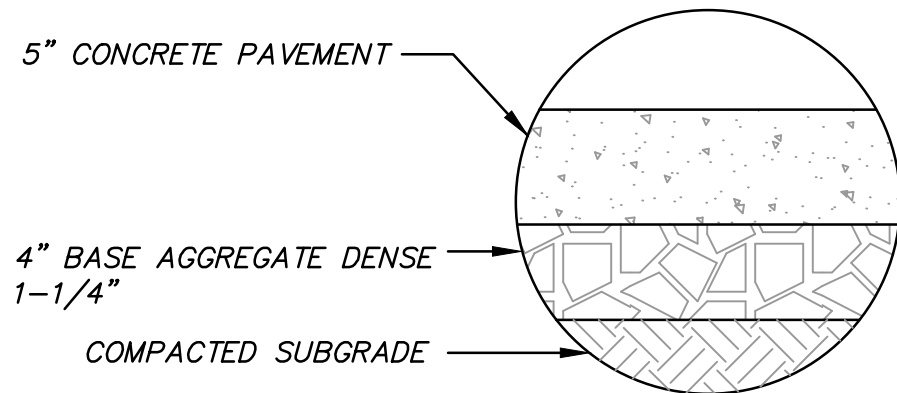
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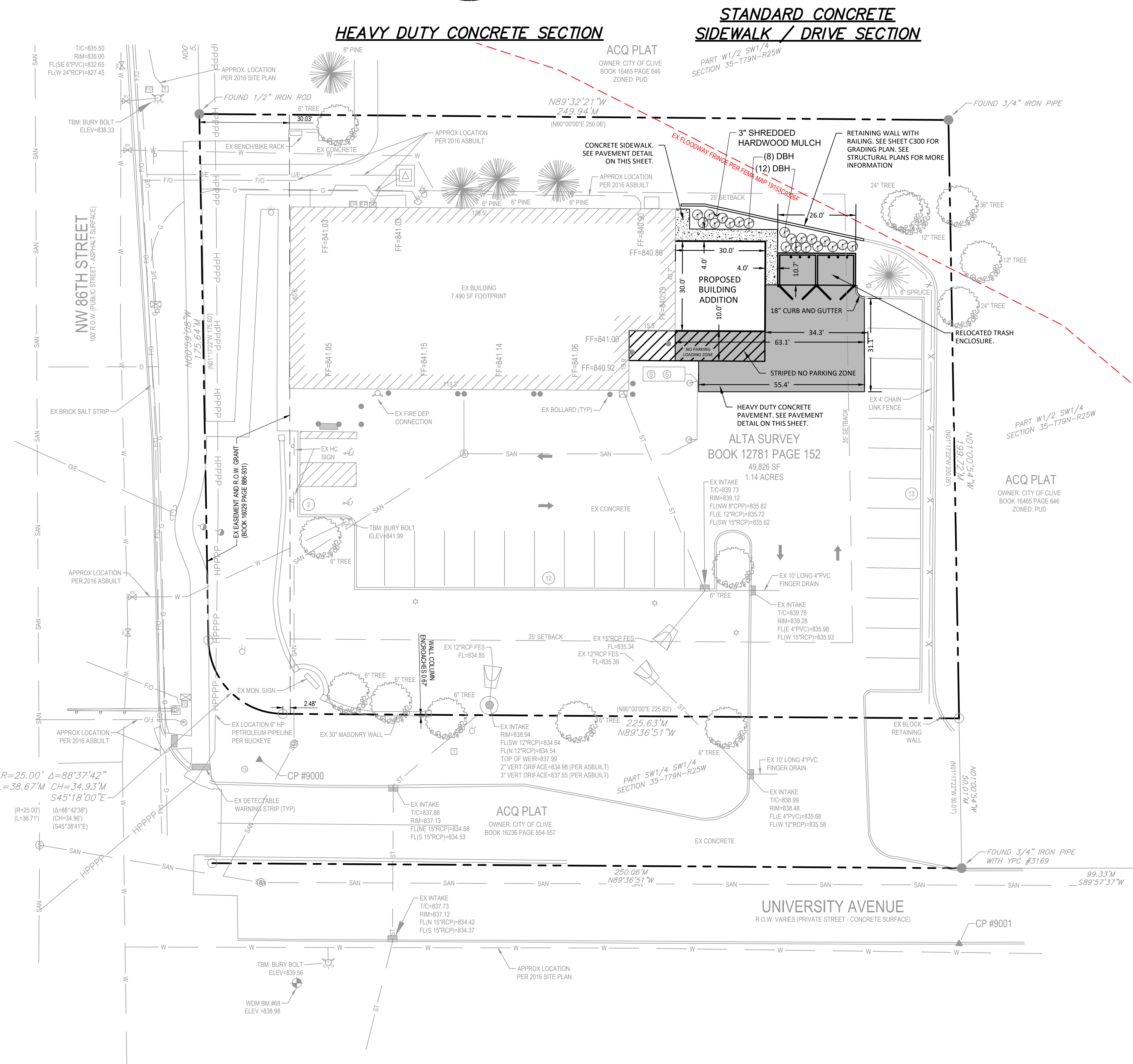
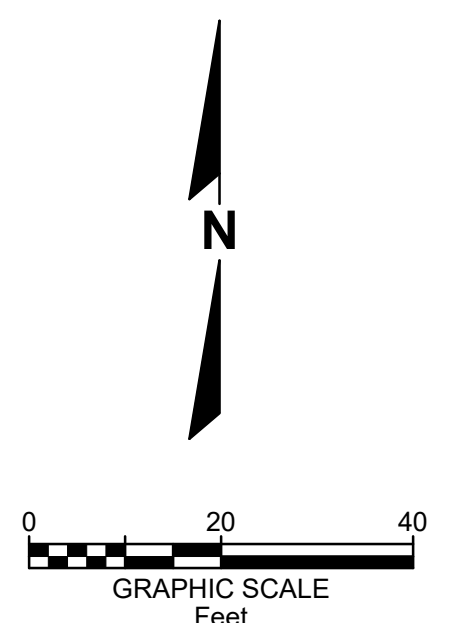
DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
DISCOUNT TIRE - IAD 04 CLIVE, IA	
DEMOLITION & EROSION CONTROL PLAN	
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DATE: 06/24/2026	
SCALE: 1" = 20'	
JOB NO. 3260081	
PROJECT MANAGER: CHRISTOPHER B. WHITE, P.E.	
DESIGNED BY: MAF	
CHECKED BY: CBW	
SHEET NUMBER	
C100	

NOTE: TYPICAL SECTIONS PER GEOTECHNICAL REPORT
BY G2 CONSULTING GROUP DATED AUGUST 28, 2015

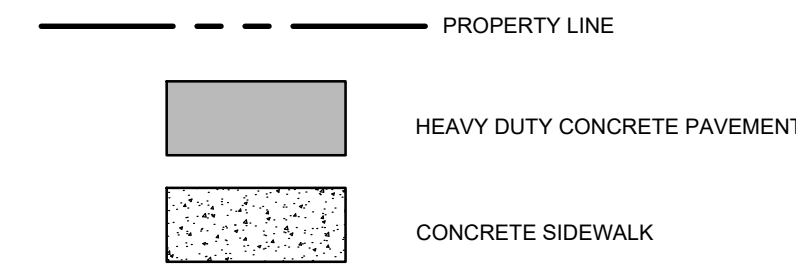


PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
DECIDUOUS SHRUBS							
DBH	20	Dwarf Bush Honeysuckle	Diervilla lonicera	15' HT	CONT	Spacing as shown	3.5' x 4.5'



LEGEND



GENERAL NOTES:

- EXISTING TOPOGRAPHY OBTAINED BY BISHOP ENGINEERING ON MAY 20, 2026.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, AND PRECISE BUILDING DIMENSIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CLIVE, IA EROSION CONTROL ORDINANCE AND STATE OF IOWA TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB. ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

BUCKEYE HIGH PRESSURE PETROLEUM PIPELINE (HPPPP) NOTE

ALL CONSTRUCTION ACTIVITY SHALL CONFORM TO THE RIGHT-OF-WAY USE RESTRICTION SPECIFICATION REVISION 4.1 BY BUCKEYE PARTNERS, L.P. AND AFFILIATES

RETAINING WALL NOTE

SEE THE STRUCTURAL PLANS FOR THE RETAINING WALL DESIGN. CITY OF CLIVE NOTE: RETAINING WALLS THAT ARE NOT Laterally supported at the top and that retain in excess of 48" of unbalanced fill shall be designed in accordance with accepted engineering practices to ensure stability against overturning, sliding, excessive foundation pressure, and water uplift. Retaining walls shall be designed for a safety factor of 1.5 against lateral sliding and overturning.

SURFACE PARKING CALCULATIONS

REQUIRED PARKING CALCULATIONS:	
3 SPACES PER SERVICE BAY (6)	18
2.5 SPACES PER 1000 SF	22
OF NON SERVICE AREA (1500 SF)	4
STANDARD SURFACE SPACES EXISTING	28
ACCESSIBLE SURFACE SPACES EXISTING	2
TOTAL SURFACE PARKING SPACES EXISTING	30
STANDARD SURFACE SPACES REMOVED	3
ACCESSIBLE SURFACE SPACES REMOVED	0
TOTAL SURFACE PARKING SPACES REMAINING	27



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DESCRIPTION

DATE

16745 W. Blumound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

DISCOUNT TIRE - IAD 04
CLIVE, IA

SITE PLAN

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R.A. Smith, Inc.

DATE: 06/24/2026

SCALE: 1" = 20'

JOB NO. 3260081

PROJECT MANAGER:
CHRISTOPHER B. WHITE, P.E.

DESIGNED BY: MAF

CHECKED BY: CBW

SHEET NUMBER

C200

d^{series}

D-Series Size 1 LED Wall Luminaire

Catalog
Number

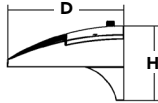
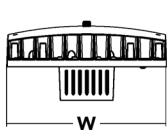
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

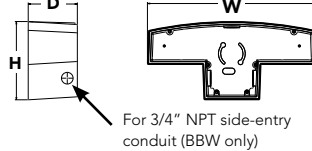
Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		



Back Box (BBW, E20WC)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	E20WC Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) ¹	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT ² 120 ³ 208 ³ 240 ³ 277 ³ 347 ^{3,4} 480 ^{3,4}	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) ⁵	Shipped installed PE Photoelectric cell, button type ⁶ DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{1,7} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{1,7} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{1,7} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{1,7} E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant ^{8,9}

Other Options	Finish (required)
Shipped installed SF Single fuse (120, 277 or 347V) ^{3,10} DF Double fuse (208, 240 or 480V) ^{3,10} HS House-side shield ¹¹ SPD Separate surge protection ¹²	Shipped separately ¹¹ BSW Bird-deterrent spikes VG Vandal guard DDL Diffused drop lens DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWTVG U	Vandal guard accessory

NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.

- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



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DSXW1-LED
Rev. 1/18/23

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
	530 mA	19W	TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
			T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
	700 mA	26W	T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
			T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
20C (20 LEDs)	350mA	23W	T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
	530 mA	35W	TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
			T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
	700 mA	46W	T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
			T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
	1000 mA	73W	T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
			T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
	530 mA	35W	T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
			T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
	700 mA	46W	T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

Motion Sensor Default Settings

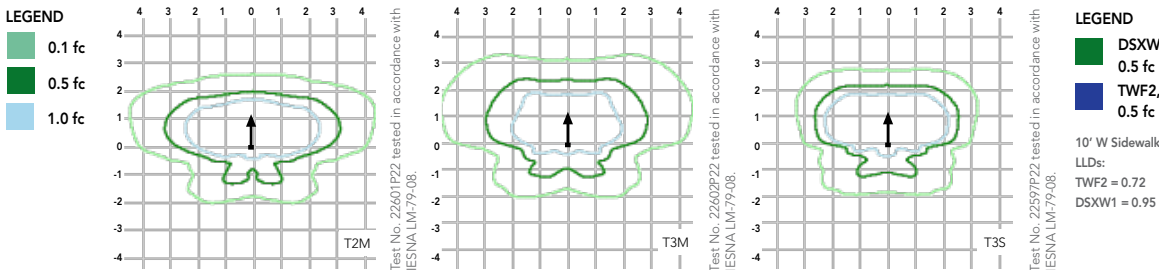
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

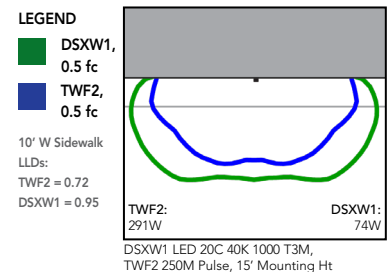
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Distribution overlay comparison to 250W metal halide.



Options and Accessories



T3M (left)



HS - House-side shields



BSW - Bird-deterrent spikes



VG - Vandal guard



DDL - Diffused drop lens

FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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DSXW1-LED
Rev. 1/18/23

VENERE_VSTL-DS (OVERHEAD) LIGHTS

Venere™

TYPE

- Includes an integral 120V or 277V secondary source to provide illumination to path of egress
- Available with full cutoff option
- One-piece, memory retentive, silicone gasket seals out contaminants for optimum lighting performance
- Six optical configurations are available, and the fixture can be configured as an uplight, downlight or uplight/downlight
- Available in a contemporary or traditional style with a wide variety of fascia options
- IP65 rated
- Powder coat finish in 13 standard colors with a polymer primer sealer



VSCL

VSTL

1. LUMINAIRE	2. LAMP/BALLAST	3. FASCIA OPTIONS	4. COLOR	5. OPTIONS

1. LUMINAIRE

VSCL - LARGE CONTEMPORARY

VSCL-DB (Down beam and egress)
 VSCL-DS (Down spread and egress. Available only with MHT6EB)
 VSCL-UB (Up beam and egress)
 VSCL-US (Up spread and egress. Available only with MHT6EB)
 VSCL-DBUS (Down beam/up spread and egress. Available only with MHT6EB)
 VSCL-UBDS (Up beam/down spread and egress. Available only with MHT6EB)

VSCS - SMALL CONTEMPORARY

VSCS-DB (Down beam and egress)
 VSCS-DS (Down spread and egress. Available only with MHT6EB)
 VSCS-UB (Up beam and egress)
 VSCS-US (Up spread and egress. Available only with MHT6EB)
 VSCS-DBUS (Down beam/up spread and egress. Available only with MHT6EB)
 VSCS-UBDS (Up beam/down spread and egress. Available only with MHT6EB)

VSTL - LARGE TRADITIONAL

VSTL-DB (Down beam and egress)
 VSTL-DS (Down spread and egress. Available only with MHT6EB)
 VSTL-UB (Up beam and egress)
 VSTL-US (Up spread and egress. Available only with MHT6EB)
 VSTL-DBUS (Down beam/up spread and egress. Available only with MHT6EB)
 VSTL-UBDS (Up beam/down spread and egress. Available only with MHT6EB)

VSTS - SMALL TRADITIONAL

VSTS-DB (Down beam and egress)
 VSTS-DS (Down spread and egress. Available only with MHT6EB)
 VSTS-UB (Up beam and egress)
 VSTS-US (Up spread and egress. Available only with MHT6EB)
 VSTS-DBUS (Down beam/up spread and egress. Available only with MHT6EB)
 VSTS-UBDS (Up beam/down spread and egress. Available only with MHT6EB)

2. LAMP/BALLAST

COMPACT FLUORESCENT (120 thru 277 volt)

4-pin, 50 watt lamp
 50PLL (Large only) 24PLL (Small only)

ELECTRONIC METAL HALIDE (120 thru 277 volt)

G12 base, T-6 ceramic lamp
 39MHT6EB 70MHT6EB (Large only)
 GX8.5 base, R111 lamp
 35R111 70R111 (Large only)

MR-16 LAMP, 12 VOLT TRANSFORMER (120 or 277 volt)

50MR16 (Small only)

All ballasts are factory wired for 277 volts, unless specified. Lamps not included.

3. DECORATIVE FASCIA OPTIONS

CONTEMPORARY

SSNR (Without stainless steel rods, without screen)
 SSRW (With stainless steel rods, without screen)
 SSWD (Stainless steel rods with wide slot screen)
 SSNW (Stainless steel rods with narrow slot screen)
 SSPF (Stainless steel rods with perforated screen)
 SSCS (Stainless steel rods with custom * screen)
 * Contact factory for custom designs

TRADITIONAL

DT (Decorative ties only)
 DTJA (Decorative ties with jack screen design)
 DTGO (Decorative ties with gothic screen design)
 DTFL (Decorative ties with fleur screen design)
 DTCS (Decorative ties with custom * screen design)
 * Contact factory for custom designs

3. COLOR

WH Arctic White	VBU Verde Blue
BL Black	CRT Corten
BLT Matte Black	MAL Matte Aluminum
DB Dark Bronze	MG Medium Grey
DGN Dark Green	AGN Antique Green
TT Titanium	LG Light Grey
WDB Weathered Bronze	RAL Premium Color
MDB Bronze Metallic	CUSTOM * * Contact Factory

4. OPTIONS

FCO (Full cutoff shield. Available only with DB or DS)
 NEG (No egress lamp (blocked opening)
 SSP (Decorative fascia (SSWD/SSNW/SSPF/SSCS) screen in stainless steel)
 BRP (Decorative screen (DTJA/DTGO/DTFL/DTCS) in brass material)

SPECIFICATIONS

HOUSING

The fixture housing is cast aluminum. The cylindrical lens is opal, semi translucent injection molded acrylic. Not field replaceable. The lens frame is secured with three captive hex-head (9/64") screws. The lens frame is sealed with a one-piece, memory retentive, molded silicone gasket. The rear electrical access has a molded silicone plug to completely seal the fixture from insects or dirt emanating from the electrical box or conduit. All internal and external hardware is stainless steel and zinc.

REFLECTOR

The reflector is formed aluminum with bright dip anodized finish for large sized fixtures and bead blasted finish for small fixtures.

FULL CUTOFF

The FCO option provides IES full cutoff classification meaning zero light emitted at 90° horizontal or above. The one-piece aluminum extrusion-6061-T6 cylinder is painted to match the fixture color. Only available with DB or DS.

ELECTRICAL

The ballast is mounted on the ballast canopy. All ballasts are electronic. T6 metal halide lamps will use G12 sockets; R111 lamps will use GX8.5 sockets; PL-L fluorescent lamps will use 2G11 sockets; MR16 lamps will use a miniature bi-pin base. The ballast will accept an input voltage of 120 through 277 volts, except for MR16 lamping which will accept an input voltage of 120 or 277 volts specify. The egress lamp (20 watt MR11) for emergency egress feature is included and is powered by 120 volt input transformed into low-voltage (12 volt) by the electronic transformer (included).

SAFETY

The fixture includes an integral secondary source to provide illumination to path of egress from building to the public way.

FINISH

The finish for the all aluminum parts will consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification that includes passing a 3000-hour salt spray test for corrosion resistance.

See next page

JOB _____
 TYPE _____
 NOTES _____



ARCHITECTURAL AREA LIGHTING
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WALL PLATE

Wall plate is secured into wall over j-box and wired to the power circuit and fixture is attached to the wall plate by four set-screws.

CERTIFICATION

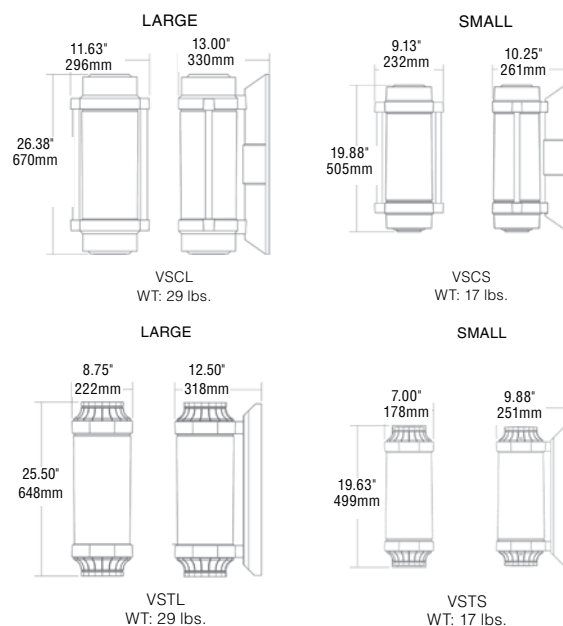
The fixture is listed with ETL for outdoor, wet location use to the U.L.1598, UL 924, CSA 141 and Canadian CSA std. C22.2 no.250 standard. IP65 rated.

WARRANTY / TERMS AND CONDITIONS OF SALE

Download:

<http://www.hubbellighting.com/resources/warranty/>

AAL reserves the right to change product specifications without notice.

DIMENSIONS**CONTEMPORARY****TRADITIONAL****CONTEMPORARY FASCIA**

SSRW
Without screen

**TRADITIONAL FASCIA**

DT
Decorative ties only



SSWD
Wide slot screen



DTJA
Jack screen design



SSNW
Narrow slot screen



DTGO
Gothic screen design



SSPF
Perforated screen



DTFL
Fleur screen design



SSCS
Custom* screen



DTCS*
Custom screen* design



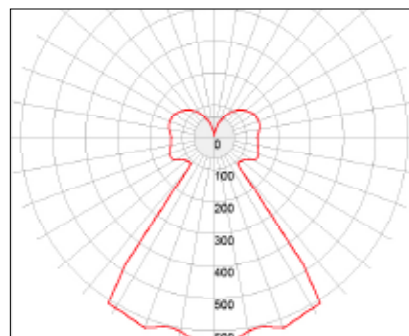
FCO
Full cutoff shield
(Shown with stainless steel narrow slot screen)



FCO
Full cutoff shield
(Shown with fleur screen design)

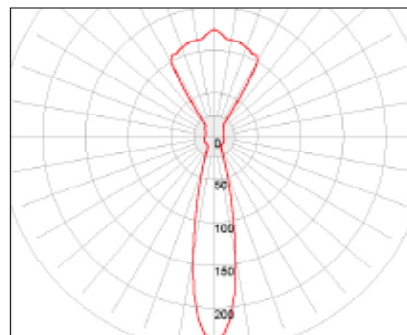


VSCL 70PSMHT6 WATTAGE: 80 LUMEN OUTPUT: 2182 EFFICACY: 82.5



UPLIGHT 33.8%
DOWNLIGHT 66.2%

VSTL 39MHT6EB WATTAGE: 45 LUMEN OUTPUT: 966 EFFICACY: 75.6



UPLIGHT 60.1%
DOWNLIGHT 39.9%

IES files can be found at www.aal.net