



CLIVE PLANNING & ZONING COMMISSION

AGENDA, REGULAR MEETING

1900 NW 114th Street

June 2, 2026 5:30 PM

This meeting will be conducted in-person in the Council Chambers and virtually via Zoom platform. To participate virtually use the following link:

<https://us06web.zoom.us/j/81557395531>

Call to Order/Roll Call

Action Items

1. Approve Meeting Minutes - 05/05/2026
2. Site Plan - Ivory Lotus Therapy - 16360 Sheridan Ave

Presentation and Discussion

Staff Report

Adjournment



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: June 2, 2026

RE: Approve Meeting Minutes - 05/05/2026

Staff recommends approval of the May 5, 2026 meeting minutes.

Attachments:

1. Minutes 05/05/2026

**CLIVE PLANNING & ZONING COMMISSION MEETING MINUTES
REGULAR MEETING
MAY 5, 2026
COUNCIL CHAMBERS**

Call to Order/Roll Call

Chair Alowitz presided and called the meeting to order at 05:30 PM. This meeting was held in the City Hall Council Chambers. Public access was provided in-person at City Hall and via Zoom. Information on how to access via Zoom was provided on the city's website and on the agenda. The meeting was recorded.

PRESENT: Michael Alowitz, Marcia Hunter, Jeffrey Anderzhon, Chris Panzi, Lindsay Brandon, Milagros Ortiz, Julie Correa

ABSENT:

STAFF: Amanda Grutzmacher, Kathryn Purvis

Action Items

1. Approve Meeting Minutes - 04/07/2026
Julie Correa moved approval, seconded by Lindsay Brandon. Roll Call: Ayes: Michael Alowitz, Marcia Hunter, Jeffrey Anderzhon, Lindsay Brandon, Milagros Ortiz, Julie Correa. Nays: None. Abstained: Chris Panzi. Motion carried.
2. Site Plan Amendment - Genesis Health Club - 10930 Hickman Road
Grutzmacher presented the request for exterior modifications at 10930 Hickman Road. No one was present on behalf of the applicant.

Commissioners Brandon and Ortiz questioned if staff had viewed large-scale applications of the product, expressing concerns with inconsistencies without proper application. Grutzmacher advised that identifying contractors that are familiar with the product for the application process would be necessary and that the applicant was working on procuring bids from such contractors.

Commissioner Anderzhon advised that in his professional experience, this product changes the color of the masonry underneath instead of adding a layer on top. He also noted that it was generally accepted as a good product from an architectural perspective.

Commissioner Ortiz questioned how this product compared in cost to other alternatives. Grutzmacher advised that a cost analysis had not been run; however, this product more than likely had a higher installation cost but made up for it in the longevity with minimal maintenance costs needed when compared with other alternatives such as paint.

Commissioner Brandon noted that the color choices of gray-on-gray on such a large building wasn't ideal. Grutzmacher advised that the submission meets the existing exterior color and material variation standards so there is limited recourse to suggest a change.

Mary-Ann Parks, 10860 Hickman Road, asked general questions about the product, and advised that it sounded like a good solution as it allowed the stone to breathe unlike paint.

Julie Correa moved approval, seconded by Lindsay Brandon.

Roll Call: Ayes: Michael Alowitz, Marcia Hunter, Jeffrey Anderzhon, Chris Panzi, Lindsay Brandon, Milagros Ortiz, Julie Correa. Nays: None. Abstained: None.
Motion Passed.

Presentation and Discussion

No Items

Staff Report

Grutzmacher generally reviewed updates to upcoming projects and staff workings.

Adjournment

Being no further business, the meeting was adjourned at 05:57 PM.



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: June 2, 2026

RE: Site Plan - Ivory Lotus Therapy - 16360 Sheridan Ave

GENERAL INFORMATION

Applicant: Asmir Besic on behalf of Ivory Lotus Therapy

Requested Action: Approval of site plan

Location: 16360 Sheridan Ave

Lot 14, Berkshire Commons Office Park Plat 1

LAND USES & ZONING			
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Vacant	Commercial - Employment	C-3
North	Office	Commercial - Employment	C-3
East	Vacant	Commercial - Employment	C-3
South	Vacant	Commercial - Employment	C-3
West	Office	Commercial - Employment	C-3

CASE HISTORY

1994 - Annexation approved

2001 - Rezoning to C-3

2001 - Berkshire Commons Office Park Preliminary and Final Plats approved

BACKGROUND

The subject property is part of the Berkshire Commons Office Park that originally developed in 2001. Since that time, the office park has slowly built out and now contains nine professional office buildings and eleven vacant lots. The subject property is approximately 0.448 acres and is currently undeveloped other than a portion of the shared parking lot drive aisle.

ANALYSIS

Building Design & Site Lighting

Consistent with the approved development plan and covenant restrictions, the proposed building is 4,486 square feet (4,500 square foot maximum permitted). The building is designed with a typical residential style roof at a 5/12 and 8/12 pitch. The exterior materials are primarily stone veneer meeting the minimum Development Standards Manual requirements, and accent materials including vertical metal siding accent wall near the front entrance and wood beams.

The site lighting is largely in conformance with the Development Standards Manual targets. In this case, the site is small and was designed as part of an office park with shared parking and drive aisle configuration, which makes full compliance with the photometric statistics targets very challenging without potential significant impacts to the overall office park layout and circulation. The lighting standards were written as targets rather than strict requirements due to these types of site challenges.

Site Layout & Circulation

The proposed site layout is consistent with the development plan. The Berkshire Commons Office Park is designed to have shared ingress/egress and parking drive aisles. Staff anticipates the site will primarily be accessed from the Sheridan Avenue shared driveway connection but an additional connection is also provided from Holcomb Ct. With future development on the property to the east, the drive aisle will be extended. The site will add 17 parking spaces, including one van accessible parking stall. Development of the subject property requires installation of a portion of the drive aisle on the property to the south (16363 Holcomb Ct.) and the property owners are in process of completing an easement agreement. A sidewalk connection is provided to Sheridan Avenue.

Landscaping & Stormwater Management

The site is required to plant 8 trees, which have been provided. Foundation plantings are provided around the majority of the building perimeter. An area near the front entry has been reserved for seasonal landscaping, which may be incorporated into some therapy sessions.

The applicant is still addressing comments related to stormwater management design due to delay in staff comment response caused by flooding; however, the outstanding comments are not anticipated to have an aesthetic or layout impact on the site plan. Detention requirements have been satisfied in an off-site regional detention basin. The site will address water quality volume and channel protection volume within a bio-swale located along the Sheridan Avenue frontage. The site will address recharge volume through soil quality restoration.

Utilities

Existing water and sanitary service connections are provided near Sheridan Avenue. The applicant intends to utilize geothermal and the well locations are still being determined. Staff does not anticipate significant impacts on the site layout and will work with the applicant to make necessary adjustments to conflicts, e.g. planting locations. In the event of a significant change to the site, a site plan amendment would be brought forward for consideration.

PUBLIC COMMENT

Notice was sent to the surrounding property owners within 310-feet of the subject site on May 21, 2026. To date, staff has received general inquiries, but nothing in writing has been submitted.

STAFF RECOMMENDATION

Staff recommends approval subject to resolution of all items outlined in the staff

comment letter originally dated March 2, 2026, and most recently amended May 29, 2026.

Attachments:

1. Outstanding Comments Letter
2. Notice Letter and Mail Labels
3. Site Plan 05-26-26
4. Site Photometrics
5. Architectural Plans
6. Retaining Wall Form Liner



May 29, 2026

Asmir Besic
9523 Heightsview Drive
West Des Moines, IA 50266

Re: 16360 SHERIDAN AVE - Ivory Lotus Mental Health - Site Plan

The Community Development Department is in receipt of an application for Site Plan for the proposed Ivory Lotus Mental Health located at 16360 SHERIDAN AVE. Based on the review of the provided submittal materials, staff have the following comments:

Architectural and Building Specifications:

1. Please update the note indicating 2.5' of exposed foundation wall on the grading page. The Architectural Submission shows 2 feet of stone veneer being installed from the top of the exposed foundation to grade.

Dimension Plan:

1. Staff understands geothermal well locations are still being determined. If the well locations are not able to be determined prior to Council consideration of the site plan, a site plan amendment may be required once additional information is provided.
2. Staff understands an ingress/egress and private storm sewer easement between the property and Lot 2 Berkshire Commons Office Park Plat 2 (16363 Holcomb Ct) is in process. A copy of the executed easement must be received prior to issuance of building permits.
3. Staff recommends documenting the ingress/egress easement between the property and Lot 15 Berkshire Commons Office Park Plat 2 (16400 Sheridan Ave) in a standalone easement document. The covenants establish the requirement for each lot to provide ingress/egress within the development; however, clarifying the maintenance obligations while the pavement is still in good condition may prevent future concerns. Staff recommends reaching out to Denise Richardson, Operations Manager at Weissenburger Investments, at denise.a.richardson@lpl.com.

Landscape Plan:

1. Please remove the Flame Amur call out from the landscaping plan. Please remove the Honey Locust call out on the landscaping plan, provide the correlating schedule reference or list the single honeylocust in the landscaping schedule.

Stormwater Management Plan:

1. There are two P-6 pipes on sheet C6. Give them each a unique identifier. Once identified, add the missing pipes in the "Pipe Listing (All Nodes)" portion of the model. In that same section, update the out-invert of BS-1 to match the planset
2. Please add the following missing items:
 - a. a summary table of the minimum and maximum pipe velocities (to ensure cleaning velocity and scour protection)
 - b. intake capacity calculation
 - c. further detail on scour mat at O-1 (outlet velocity, shear strength of proposed scour mat)
 - d. pipe capacity (can be copied from model nodes list with columns added for missing information)
3. The SWMP narrative says impervious area is $1798 + 4486 + 6246 = 12,530$ but the site plan cover lists 13,254. Reconcile these numbers so that they match.
4. The proposed condition rainfall values and storm type are not consistent with the manual.

If SCS Type II distribution is used, the 24-hour rainfall depths for the storms are:

1 - 3.33"
2 - 3.81"
5 - 4.7"
100 - 11.88"

If the 6-hour temporal distribution for midwestern states is used, the 6-hour rainfall depths for the storms are:

1 - 2.56"
2 - 2.94"
5 - 3.68"
100 - 7.48"

Either change your storm type to the 6-hr Temporal Distribution for Midwestern States, or change the duration to 24 hours and the rainfall depths to the 24-hour depths. The temporal distribution is not a Type II SCS distribution.

5. When model discrepancies are resolved, please contact the Water Resources Engineer to discuss retention time (515) 867-5128. This can be prior to the time of full package resubmittal as long as a status print of sheet C6 and the updated model outputs are provided 24 hours ahead of time. Discussion may include review of the following: Summary for Pond BS-1, bioretention configuration, and network placement.
6. Update construction detail for bioretention to include depth and composition (% topsoil, sand, and compost) of amended soil.
7. The requirements for safe conveyance of the 100-year event still apply. Please identify the overflow route. The overflow route shall demonstrate that there are adequate flow paths via storm sewers, easements, or ROW for conveyance to the receiving stream corridor (the regional detention area north of 2675 Berkshire Parkway. Attached for reference is a map showing topo, storm utility, and flowage/detention easements.
8. A stormwater facilities maintenance agreement and permanent easement is required for the stormwater management facilities. Staff will provide a template to be completed with the appropriate practices and legal description.

9. For the stormwater BMP maintenance plan: The maintenance plan needs to be a standalone document containing a checklist and a map that can be used by a future site manager or landscaper. You may use the plan content of Sheet C6 for the map, but it must be legible at the intended layman's print scale (presumably 8.5" x 11"). For the plan set notes related to maintenance: Fix the syntax such that the instruction is clear: Remove erroneous question marks, add in the appropriate hyphens on ranges, remove the "if provided" since you are showing the subdrain as provided. Label the vegetated area to be inspected, or add note to refer to the landscape sheet. If referring to the landscape sheet, add a hatch to the landscape sheet to indicate where the bioretention seed mix is to be applied (and later inspected/maintained).

Utility Plan:

1. Add a clearly identifiable call out for the critical crossings.
2. Fix CL-2 and CL-3 rim elevations to ensure they are not below finished grade of paving.

Based on the satisfactory resolution of the above items and resubmittal of the Site Plan prior to , it is anticipated that the project would be placed on the 06/02/2026, Planning and Zoning Commission agenda. Please feel free to contact me on the portal or at 515-223-6221 if you have questions or need additional information.

Sincerely,

Amanda Grutzmacher

Senior Planner



May 21, 2026

Re: 16360 SHERIDAN AVE - Ivory Lotus Mental Health

Dear Property Owner:

Asmir Besic, on behalf of Ivory Lotus Mental Health, has submitted a Site Plan to the City of Clive to construct a new office building located at 16360 Sheridan Ave.

The Clive Planning and Zoning Commission will tentatively receive public input on this application during their meeting at 5:30 p.m., Jun 02, 2026. You may attend this meeting in person in the City Council Chambers, 1900 NW 114th Street, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. Meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by virtually attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Clive, City Planner, 1900 NW 114th Street, Clive, IA 50325 or by email at the address below.

Following the Planning and Zoning Commission's review and recommendation, the City Council will make a determination on this application. The public meeting has been tentatively scheduled for 6:00 p.m., on Jun 11, 2026, also to be hosted in person at the above address and virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. City Council meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council's meeting. If you have any questions concerning this application or if you would like additional information, please call the Community Development Department at (515) 223-6221.

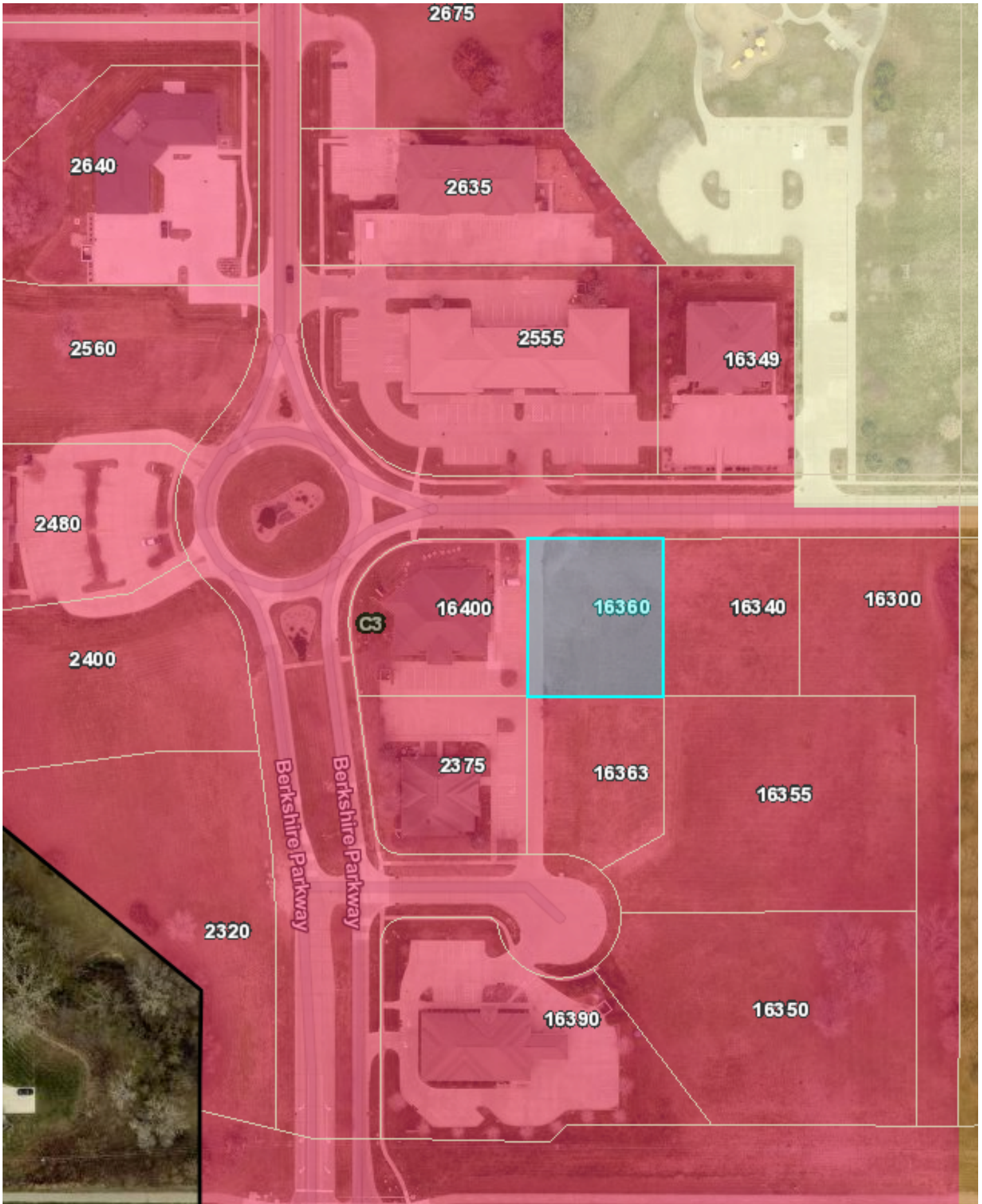
Sincerely,

A handwritten signature in cursive script that reads "Amanda Grutzmacher".

Amanda Grutzmacher

AGRUTZMACHER@CITYOFCLIVE.COM

LOCATION MAP



ADDA PROPERTIES LLC
14121 LAKEVIEW DR
CLIVE, IA 50325

ALBRIGHT, JAY & DEBRA LIVING TRUST
ALBRIGHT, JAY HENRY TRUSTEE
2379 NW 163RD STREET
CLIVE, IA 50325

BERKSHIRE DENTAL
2375 BERKSHIRE PKWY
CLIVE, IA 50325

BERKSHIRE OFFICE, LLC
4701 121ST ST
URBANDALE, IA 50323

C & S COMMERCIAL, LLC
4704 154TH ST
URBANDALE, IA 50323

DICKSON, DAVID K & BONNIE V
2410 NW 163RD ST
CLIVE, IA 50325-4641

FREEBURG, JEDD & JANELL JTRS
2380 NW 163RD ST
CLIVE, IA 50325

IC2DM LLC
115 IOWA AVE
IOWA CITY, IA 52240

KONRAD, LYLE H & SHELLEY KAY
REVOCABLE TRUST
2413 NW 163RD
CLIVE, IA 50325

KREMERS, JANET L
2383 NW 163RD ST
CLIVE, IA 50325

LUANA SAVINGS BANK
100 HARVEST DR
LUANA, IA 52156

MARCINKO, RUDOLPH F REVOCABLE
TRUST U/A/D 02/07/2000
2422 NW 163RD ST
CLIVE, IA 50325-4641

MCCLELLAN, CATHLEEN M
2396 NW 163RD ST
CLIVE, IA 50325

MYERS, ANN & DANIEL
2376 NW 163RD ST
CLIVE, IA 50325-4640

NC INVESTMENTS, LLC
400 BAYHILL CIR
NORTH SIOUX CITY, SD 57049-5092

THE NEUMEYER, JO ANN K REVOCABLE
TRUST
2401 NW 163RD ST
CLIVE, IA 50325

NORTON, MARY L
2390 NW 163RD ST
CLIVE, IA 50325

PAJAZETOVIC, JASMINA
225 NE DARTMOOR DR STE 300
WAUKEE, IA 50263

PARK SIDE TOWNHOMES ASSOCIATION
1350 NW 138TH ST STE 500
CLIVE, IA 50325

PIRKLE, WILLIAM & KRUSE, MANDILA
2373 NW 163RD ST
CLIVE, IA 50325

ROSE, MICHAEL THOMAS
2389 NORTHWEST 163RD ST
CLIVE, IA 50325

SCHRECK, JAMES & SHARPE, NANCY
2429 NW 163RD ST
CLIVE, IA 50325

SUPPES, GEORGE & GEORGIEANNA
2386 NW 163RD ST
CLIVE, IA 50325

TOLLIVER, MICHAEL & CYNTHIA
2393 NW 163RD ST
CLIVE, IA 50325

TORSTENSON, TED & TAMMY FAMILY
TRUST
2404 NW 163RD ST
CLIVE, IA 50325-4641

TWO PEDS AND A POD LC
2555 BERKSHIRE PARKWAY
CLIVE, IA 50325

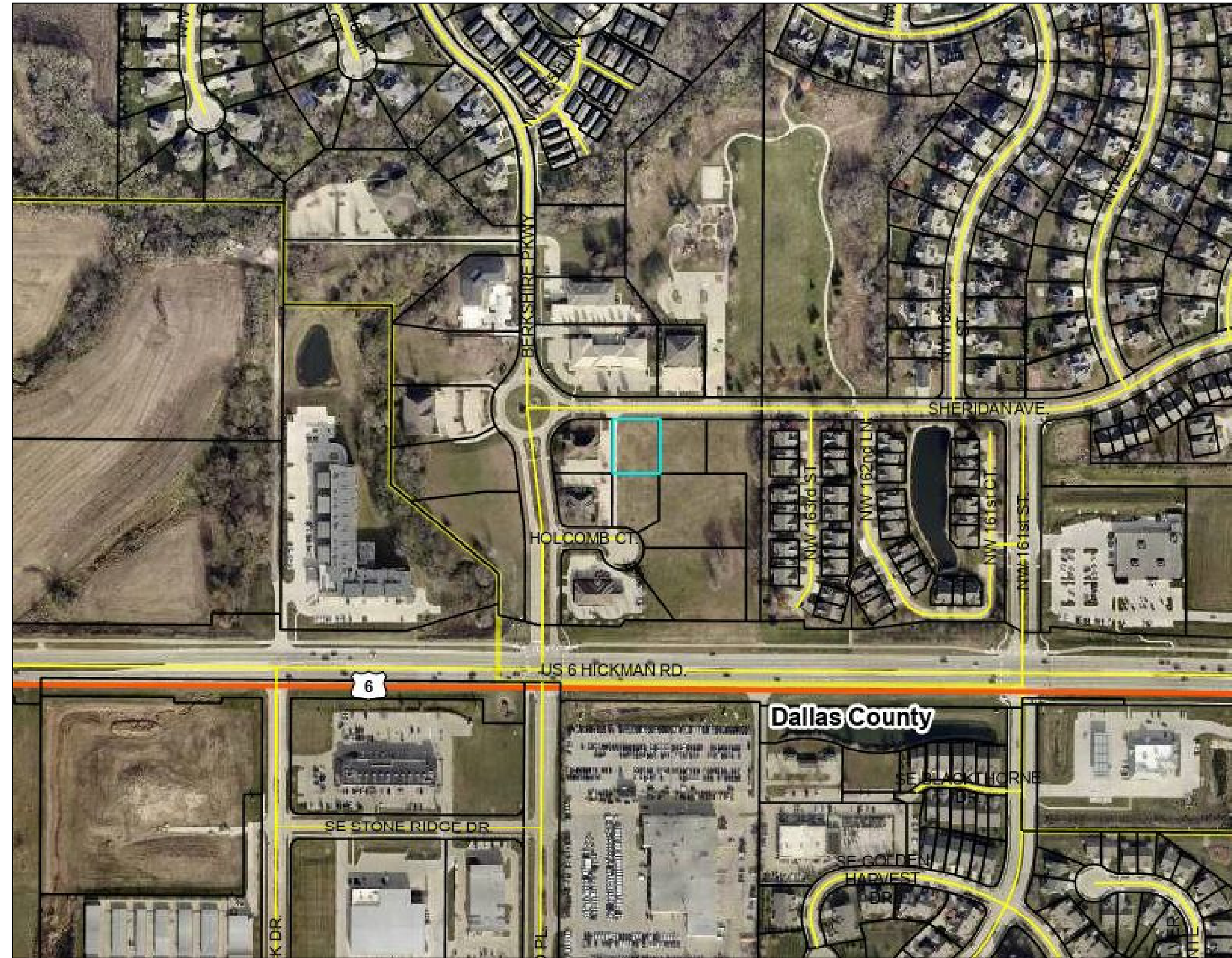
VOLK, TANNER K & LISA M JTRS
2416 NW 163RD ST
CLIVE, IA 50325

WEISS, LEE ALLEN & CONNIE
2421 NW 163RD ST
CLIVE, IA 50325

WEISSENBURGER REAL ESTATE LLC
16400 SHERIDAN AVE
CLIVE, IA 50325

YURGAE, PHILLIP GEORGE &
ROSEMARY ANN
2369 NW 163RD ST
CLIVE, IA 50325

Ivory Lotus Commercial Site Plan 16360 Sheridan Avenue Clive, Iowa



STANDARD CONSTRUCTION 811 NOTES

1. THE CONTRACTOR SHALL NOTIFY CALL 811 (IOWA ONE CALL / SUNSHINE 811 / APPLICABLE STATE 811 SYSTEM) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION OR GROUND-DISTURBING ACTIVITY. DO NOT BEGIN WORK UNTIL ALL UTILITIES HAVE BEEN MARKED OR CLEARED.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS. ANY DAMAGE CAUSED TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE IMMEDIATELY AND TO THE SATISFACTION OF THE UTILITY OWNER.
3. UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ADDITIONAL BURIED LINES, SERVICES, OR ABANDONED FACILITIES MAY EXIST AND ARE NOT GUARANTEED TO BE SHOWN. THE CONTRACTOR SHALL FIELD-VERIFY ALL UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION.
4. THE CONTRACTOR SHALL HAND-EXCAVATE (POTHOLE) WITHIN 5 FEET OF ANY MARKED, SUSPECTED, OR POTENTIALLY CONFLICTING UTILITY LINE TO CONFIRM LOCATION AND DEPTH BEFORE USING MECHANICAL EQUIPMENT.
5. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY MARKINGS THROUGHOUT THE DURATION OF CONSTRUCTION. IF MARKINGS ARE DISTURBED, FADED, OR NO LONGER VISIBLE, THE CONTRACTOR MUST REQUEST RE-MARKING THROUGH 811 BEFORE PROCEEDING.
6. ANY REQUIRED UTILITY ADJUSTMENTS OR TEMPORARY SHUTDOWNS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE AFFECTED UTILITY OWNERS A MINIMUM OF 72 HOURS IN ADVANCE.
7. THE CONTRACTOR SHALL AVOID EXCAVATION WITHIN 18 INCHES OF ANY MARKED UTILITY TOLERANCE ZONE (HORIZONTAL OR VERTICAL) WITHOUT USING SOFT-DIG TECHNIQUES (VACUUM EXCAVATION OR HAND-DIGGING).
8. IF UNEXPECTED UTILITIES ARE ENCOUNTERED, DAMAGED, OR FOUND IN A LOCATION DIFFERENT FROM THE 811 MARKINGS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE UTILITY OWNER AND THE ENGINEER BEFORE PROCEEDING.
9. THE CONTRACTOR SHALL PROVIDE SAFE ACCESS FOR UTILITY OWNERS AND REPRESENTATIVES AT ALL TIMES FOR INSPECTION, MAINTENANCE, OR REPAIRS DURING THE PROJECT.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF ANY UTILITY CONFLICT PREVENTS CONSTRUCTION AS DESIGNED. DO NOT MODIFY ALIGNMENTS, GRADES, OR LOCATIONS WITHOUT WRITTEN APPROVAL.
11. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DAMAGE, DELAYS, OR INTERRUPTIONS CAUSED BY FAILURE TO COMPLY WITH THESE UTILITY NOTES OR 811 REQUIREMENTS.
12. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, COUNTY, AND LOCAL UTILITY PROTECTION LAWS, INCLUDING OSHA TRENCH SAFETY REQUIREMENTS.
13. IF BURIED TILE, FIELD TILE, DRAIN TILE, OR UNKNOWN SUBSURFACE DRAINAGE SYSTEMS ARE ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THAT AREA AND NOTIFY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL MAINTAIN FLOW THROUGH THE TILE SYSTEM AT ALL TIMES TO PREVENT FLOODING OR BACKUP. REPAIR, REPLACEMENT, OR REDIRECTION OF ANY TILE SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND IN ACCORDANCE WITH THE ENGINEER'S DIRECTION. NO TILE SHALL BE CUT, REMOVED, OR ABANDONED WITHOUT PRIOR APPROVAL.

UTILITY LOCATION DISCLAIMER AND CONTRACTOR RESPONSIBILITY

THE UTILITY LOCATIONS ILLUSTRATED ON THESE PLANS HAVE BEEN COMPILED USING A COMBINATION OF FIELD SURVEY DATA, PUBLICLY AVAILABLE RECORDS, AND UTILITY PLANS PROVIDED BY THIRD PARTIES. SURFACE UTILITIES HAVE BEEN FIELD-LOCATED BY BISHOP ENGINEERING UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND FOR REFERENCE ONLY. BISHOP ENGINEERING MAKES NO WARRANTIES OR GUARANTEES REGARDING THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITY LOCATIONS DEPICTED ON THE PLANS.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ALSO ASSESS THE POTENTIAL PRESENCE OF ANY UTILITIES NOT SHOWN ON THE PLANS.

A UTILITY LOCATE REQUEST MUST BE SUBMITTED TO IOWA ONE CALL FOR IDENTIFICATION AND FIELD MARKING OF EXISTING UTILITY INFRASTRUCTURE BY THE RESPECTIVE UTILITY PROVIDERS.

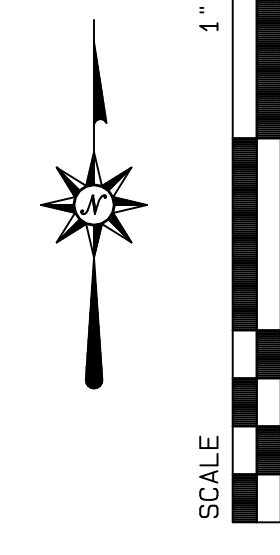
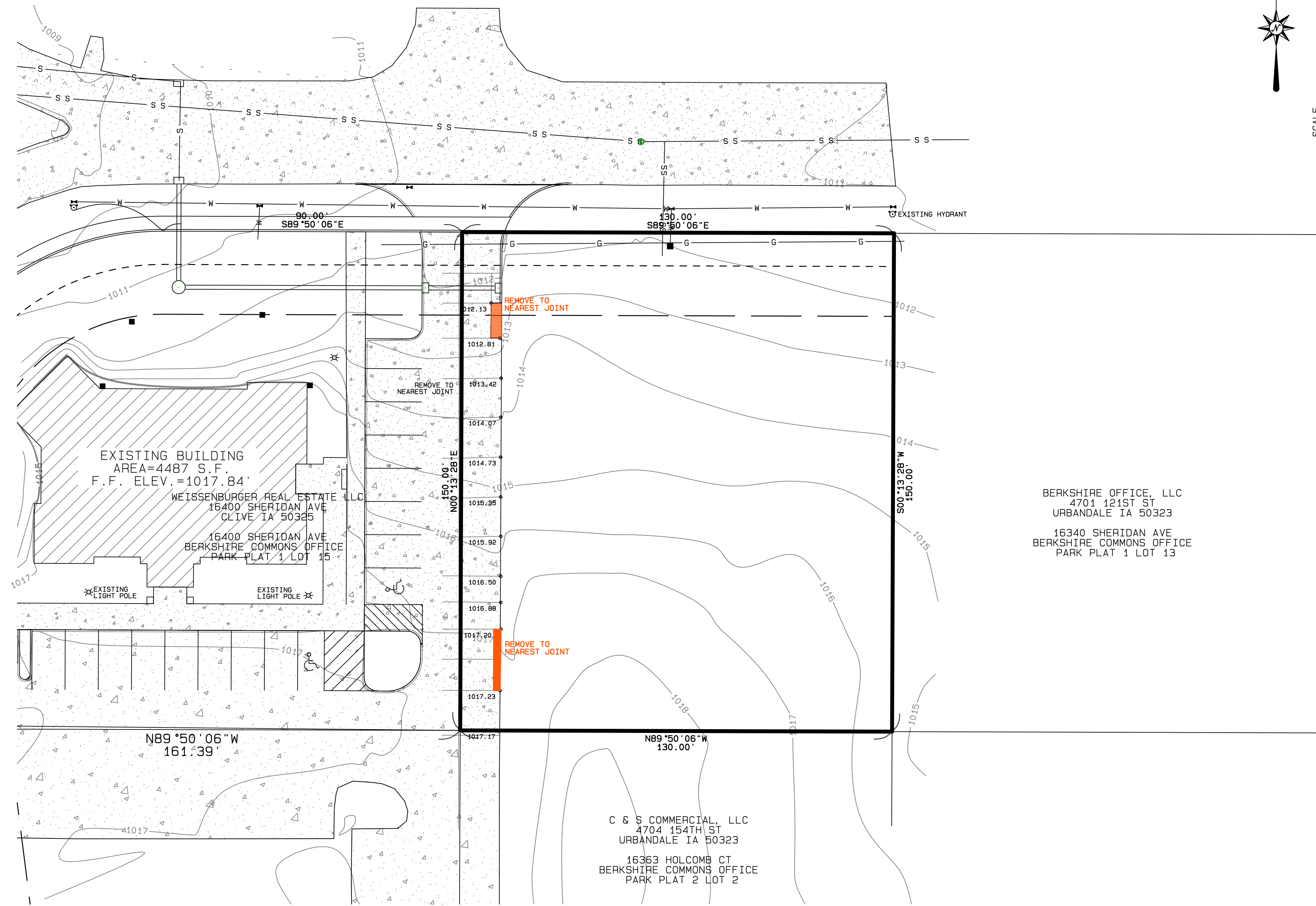
- CONTRACTOR RESPONSIBILITIES:
1. UTILITY COSTS SHALL BE COVERED BY THE INSTALLATION OF NEW UTILITIES, SITE GRADING, PAVING, AND RELATED CONSTRUCTION ACTIVITIES. KNOWN CONFLICTS HAVE BEEN NOTED ON THE PLANS FOR THE CONTRACTOR'S CONVENIENCE.
 2. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR IDENTIFYING AND RESOLVING ALL UTILITY CONFLICTS, INCLUDING THOSE SPECIFICALLY IDENTIFIED ON THE PLANS AND THOSE REASONABLY INFERRABLE FROM THE DRAWINGS AND EXISTING FIELD CONDITIONS.

SITE ADDRESS		16360 SHERIDAN AVENUE CLIVE, IOWA 50325
LEGAL DESCRIPTION		Lot 14 in BERKSHIRE COMMONS OFFICE PARK PLAT 1, an Official Plat 811 now included in and forming a part of the City of Clive, Dallas County, Iowa.
TITLE HOLDER		PAJAZETOVIC, JASMINA 225 NE DARTMOOR DR STE 300 WAUKEE IA 50263
PROJECT MANAGER		ASSOCIATED ENGINEERING COMPANY OF IOWA 1520 NW IRVINGDALE DRIVE, SUITE 102 ANKENY, IOWA 50023 CONTACT: VIC PIAGENTINI PHONE: (515) 255-3156 EMAIL: VIC@AECOFIOWA.COM
GENERAL PERMIT #2 & COSESCO PERMITS: GENERAL PERMIT NOT REQUIRED		
DISTURBED AREA: 0.66 ACRES (TOTAL SITE AREA=0.66 ACRES)		
HORIZONTAL/VERTICAL CONTROL		HORIZONTAL CONTROL: IOWA SOUTH, NAD 83 DATUM VERTICAL: NAVD88
AREA SUMMARY		(A) EXISTING SITE PERVIOUS 17,702 SF IMPERVIOUS 1,798 SF TOTAL SITE 19,500 SF (B) DEVELOPED SITE PERVIOUS 6,246 SF IMPERVIOUS 13,254 SF TOTAL SITE AREA 19,500 SF OPEN SPACE REQUIRED 4,875 SQ FT (25%) TOTAL PERVIOUS 6,246 SQ FT (32%) TOTAL IMPERVIOUS 13,254 SQ FT (68%) TOTAL SITE 19,500 SQ FT
PARKING REQUIREMENTS		REQUIRED PARKING STALLS 3.0 SPACES PER 1,000 SQ FT OF GFA (4,486 SQ FT / 1,000 * 3 SPACES) = 14 STALLS PROVIDED PARKING STALLS = 15 STALLS H.C. PARKING PROVIDED = 1 STALL
ZONING INFORMATION		ZONING: C-3 (PLANNED OFFICE PARK) FRONT YARD 25' SIDE YARD 25' REAR YARD 35' PARKING 15'
SITE USAGE		PROPOSED USAGE: PROFESSIONAL OFFICE SPACE
IBC CLASSIFICATION		IBC REFERENCE: GROUP B (BUSINESS)
CURB SECTION - (6" CURB 'A')		
CURB SECTION - (6" CURB 'B')		
<ul style="list-style-type: none"> ● MONUMENT FOUND AS NOTED ○ SET 5/8" RE-ROD W/ CAP 2228 ▲ SECTION CORNER FOUND AS NOTED ✕ FENCE LINE AS NOTED ○ BURIED TELEVISION AS NOTED ○ SANITARY MANHOLE AS NOTED ○ STORM MANHOLE AS NOTED ○ TRAFFIC MANHOLE AS NOTED ○ UTILITY MANHOLE AS NOTED ○ PHONE MANHOLE AS NOTED ○ ELECTRIC MANHOLE AS NOTED ○ GAS METER AS NOTED ○ GAS VALVE AS NOTED ○ UTILITY POLE AS NOTED ○ WELL AS NOTED ○ FIREHYDRANT AS NOTED ○ EXISTING WATER VALVE ○ PROPOSED WATER VALVE ○ CURB INTAKE AS NOTED ○ AREA INTAKE AS NOTED ○ HANDICAP PARKING AS NOTED ○ ELECTRIC TRANSFORMER BOX AS NOTED ○ GAS MAIN AS NOTED ○ WATER MAIN AS NOTED ○ STORM SEWER AS NOTED ○ SANITARY SEWER AS NOTED ○ BURIED TELEPHONE ○ BURIED CABLE/UTILITIES AS NOTED — 100 — EXISTING CONTOUR — 100 — PROPOSED CONTOUR — T-V — FENCE LINE AS NOTED — U-E — BURIED TELEVISION AS NOTED — U-E — AREA INTAKE AS NOTED — U-E — OVER-HEAD ELECTRIC & UTILITIES — G — GAS MAIN AS NOTED — W — WATER MAIN AS NOTED — S — STORM SEWER AS NOTED — SS — SANITARY SEWER AS NOTED — UT — BURIED TELEPHONE — UC — BURIED CABLE/UTILITIES AS NOTED — 100 — EXISTING CONTOUR — 100 — PROPOSED CONTOUR — T-V — FENCE LINE AS NOTED — U-E — BURIED TELEVISION AS NOTED — U-E — AREA INTAKE AS NOTED — U-E — OVER-HEAD ELECTRIC & UTILITIES — G — GAS MAIN AS NOTED — W — WATER MAIN AS NOTED — S — STORM SEWER AS NOTED — SS — SANITARY SEWER AS NOTED — UT — BURIED TELEPHONE — UC — BURIED CABLE/UTILITIES AS NOTED — 100 — EXISTING CONTOUR — 100 — PROPOSED CONTOUR — T-V — FENCE LINE AS NOTED — U-E — BURIED TELEVISION AS NOTED — U-E — AREA INTAKE AS NOTED — U-E — OVER-HEAD ELECTRIC & UTILITIES — G — GAS MAIN AS NOTED — W — WATER MAIN AS NOTED — S — STORM SEWER AS NOTED — SS — SANITARY SEWER AS NOTED — UT — BURIED TELEPHONE — UC — BURIED CABLE/UTILITIES AS NOTED 		<p>ENGINEERING CERTIFICATION</p> <p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNED: NICHOLAS GOFFELT DATE: 5/26/2026 LICENSE NO. 1415 DATE ISS. 05/20/2017 P.E. REGISTERED IN THE STATE OF IOWA</p>

ASSOCIATED ENGINEERING COMPANY OF IOWA
 1520 NW IRVINGDALE DRIVE, SUITE 102, ANKENY, IOWA 50023
 PHONE: (515) 255-3156 FAX: (515) 255-3157
AEC

IVORY LOTUS COMMERCIAL SITE PLAN
TITLE SHEET

DATE PRINTED: Tue May 26, 2026
 AEC #: 214686



- INTENDED SEQUENCE OF CONTROLS
- INSTALL PERIMETER SILT FENCE AND INLET PROTECTIONS AS REQUIRED.
 - CONSTRUCT TEMPORARY CONSTRUCTION EXITS/ENTRANCES AND DESIGNATE STAGING/MATERIALS STORAGE AREA.
 - DESIGNATE AREAS FOR TEMPORARY SANITARY FACILITIES, EMPLOYEE PARKING AND DUMPSTER LOCATION.
 - BEGIN CLEARING AND GRUBBING OPERATIONS. THESE OPERATIONS SHOULD NOT TAKE PLACE IN THOSE AREAS WHERE EARTHWORK IS EXPECTED TO TAKE PLACE WITHIN 14 DAYS AFTER COMPLETION.
 - BEGIN TOPSOIL STRIPPING AND DESIGNATE AREA FOR STOCKPILE. TOPSOIL SHALL BE PRESERVED ON SITE.
 - SITE GRADING SHALL BEGIN. CONTRACTOR WILL BE RESPONSIBLE FOR TEMPORARILY STABILIZED ANY AREA THAT WILL NOT BE DISTURBED FOR AT LEAST 0 DAYS NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY.
 - SITE CONSTRUCTION ESTIMATE 180 DAYS.
 - MONITOR SWPPP.
 - REMOVE ALL SILT FENCE AND OTHER TEMPORARY EROSION CONTROLS
 - DO NOT REMOVE PERIMETER CONTROLS UNTIL UPSTREAM AREAS ARE STABILIZED.
 - END ENTIRE SITE.
 - FILE NOTICE OF DISCONTINUATION.

PERIMETER SILT FENCE
SILT FENCE WILL BE INSTALLED AROUND THE PERIMETER BEFORE CONSTRUCTION BEGINS. SILT FENCE WILL BE INSTALLED AROUND THE STOCKPILE ONCE IT IS ESTABLISHED. OTHER AREAS WILL REQUIRE SILT FENCE DURING CONSTRUCTION AND POST CONSTRUCTION. BREAK SILT FENCE INTO 200 FOOT SEGMENTS WITH J-HOOKS ON THE ENDS.

TEMPORARY VEGETATIVE COVER
CONTRACTOR WILL BE RESPONSIBLE FOR TEMPORARILY STABILIZING ANY AREA THAT WILL NOT BE DISTURBED FOR AT LEAST 0 DAYS NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY.

ANY AREA THAT WILL NOT BE DISTURBED FOR AT LEAST 0 DAYS NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY WILL NEED TO HAVE TEMPORARY SEEDING. TEMPORARY SEEDING IS TYPICALLY DONE FOR AREAS THAT WILL BE UNDISTURBED FOR LESS THAN ONE YEAR AND SHOULD ONLY BE DONE CERTAIN TIMES OF THE YEAR. INSTALLATION, SEED SPECIFICATIONS AND FERTILIZER SPECIFICATIONS WILL BE ACCORDING TO SECTION 9010 OF SUDAS. THE TYPICAL SEEDING SEASON IS FROM MARCH 1ST TO MAY 31ST AND FROM AUGUST 10TH TO SEPTEMBER 30TH. ANY AREA REQUIRING SEEDING OUTSIDE OF THESE DATES MAY NEED TO BE MULCHED UNTIL SUCH TIME SEEDING MAY TAKE PLACE. THE SEEDING AREA REQUIRING SEEDING SHALL BE TILLED TO A MINIMUM OF 5 INCHES IN DEPTH WITH A DISK, HARROW OR FIELD CULTIVATOR. APPROPRIATE SEEDING EQUIPMENT SHALL BE USED TO APPLY THE SEED. THE SEED SHALL THEN BE COVERED BY LIGHTLY TILLING THE SEEDING AREAS WITH A DISK, RIGID HARROW, SPRING TOOTH HARROW OR FIELD CULTIVATOR. MULCH SHALL BE STRAW, HAY, WOOD EXCELSDOR OR PRAIRIE HAY. THE SAME DAY THE SEED IS SOWN, CARE SHOULD BE TAKEN TO MINIMIZE THE DISPLACEMENT OF THE SOIL. CONVENTIONAL OR HYDROMULCHING SHALL BE UTILIZED IN AREAS THAT CANNOT BE STABILIZED BY SEEDING DUE TO SEASON OR GROUND CONDITIONS. INSTALLATION AND MATERIALS WILL BE ACCORDING TO SECTION 9010 OF SUDAS. CONVENTIONAL MULCHING SHALL BE APPLIED UNIFORMLY AT A RATE OF 2 TONS/ACRE FOR DRY CEREAL STRAW OR 2.5 TONS/ACRE FOR PRAIRIE HAY. THE MULCH NEEDS TO BE WORKED INTO THE SOIL WITH A MULCH TUCKER OR SIMILAR DEVICE DESIGNED TO ANCHOR THE MULCH INTO SOIL USING DUAL BLADES OR DISKS. HYDROMULCHING SHALL BE APPLIED IN MULTIPLE LAYERS FROM OPPOSING DIRECTIONS WHERE POSSIBLE. A HOMOGENEOUS SLURRY NEEDS TO BE MIXED PER MANUFACTURER'S RECOMMENDATIONS. IF THE SOIL IS DRY, THE CONTRACTOR SHALL DAMPEN THE SOIL PRIOR TO APPLICATION TO AVOID CLUMPING OF THE MATERIAL. THE SLURRY SHALL BE APPLIED EVENLY OVER THE AREA AT THE FOLLOWING RATES: WOOD CELLULOSE MULCH AT 2600 LB/ACRE DRY WEIGHT AND JACKFITTER AT 50 LB/ACRE; BONDED FIBER MATRIX AT 3600 LB/ACRE DRY WEIGHT; AND MECHANICALLY BONDED FIBER MATRIX AT 3600 LB/ACRE DRY WEIGHT.

CONSTRUCTION ENTRANCE
TEMPORARY STABILIZED EXITS WILL BE INSTALLED AT ANY AREAS LEAVING THE SITE THAT HAVE POTENTIAL OF CONSTRUCTION TRAFFIC TRACKING SEDIMENT ON TO EXISTING PAVED AREAS. THE EXIT AREA WILL BE INSTALLED AT A MINIMUM OF 150 FEET IN LENGTH AND CONSIST OF A 3" CRUSHED ROCK AT A MINIMUM DEPTH OF 6 INCHES. A LAYER OF GEOTEXTILE FILTER FABRIC MAY NEED TO BE INSTALLED PRIOR TO THE ROCK IN ORDER TO REDUCE THE DISPLACEMENT OF SOIL UNDERNEATH THE CRUSHED ROCK. THE EXIT SHALL BE FLARED AT THE END CLOSEST TO THE PAVED AREAS TO PROVIDE GREATER PROTECTION. THE EXIT SHOULD BE GRADED TO PREVENT RUNOFF FROM FLOWING ONTO THE EXISTING PAVED AREAS. THE CONSTRUCTION EXIT WILL BE INSTALLED ACCORDING TO SECTION 9 OF SUDAS AND AT LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.

DUST CONTROL
DUST CONTROL SHALL BE USED IN AREAS THAT ARE SUSCEPTIBLE TO WIND EROSION. INSTALLATION WILL BE ACCORDING TO SECTION 9 OF SUDAS AND BASED ON WEATHER AND SITE CONDITIONS. THE MOST COMMON DUST CONTROL AGENT IS WATER. IT SHOULD BE APPLIED FREQUENTLY TO ANY GROUND SURFACE THAT HAS PROBLEMS WITH DIRT PARTICLES BECOMING AIRBORNE WHICH COULD RESULT IN LOW VISIBILITY, HEALTH HAZARDS OR OFFSITE DAMAGE TO SURROUNDING PROPERTIES. CHEMICAL AGENTS SUCH AS CALCIUM CHLORIDE, LIGNOSULFONATE OR SOAPSTOCK CAN ALSO BE USED.

TRASH AND CONSTRUCTION DEBRIS DISPOSAL
ALL TRASH MATERIALS WILL BE COLLECTED AND DISPOSED OF INTO DESIGNATED TRASH RECEPTACLES OR DUMPSTERS LOCATED IN THE STAGING AREA. ALL TRASH CONTAINERS WILL HAVE A SECURED LID, BE PLACED IN AN AREA AWAY FROM STORM WATER CONVEYANCES AND DRAINS, AND MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. NO CONSTRUCTION DEBRIS WILL BE ALLOWED TO BE BURIED ONSITE. TRASH PLACED IN THE RECEPTACLES WILL ONLY BE TRASH RELATED TO CONSTRUCTION ON THE CONSTRUCTION SITE. THE SITE SUPERINTENDANT IS RESPONSIBLE FOR TRAINING ALL PERSONNEL ON THE CORRECT PROCEDURE FOR THE DISPOSAL OF TRASH AND CONSTRUCTION DEBRIS.

DUMPSTERS AND/OR TRASH RECEPTACLES WILL BE INSTALLED ONCE THE STAGING AREA IS CONSTRUCTED.

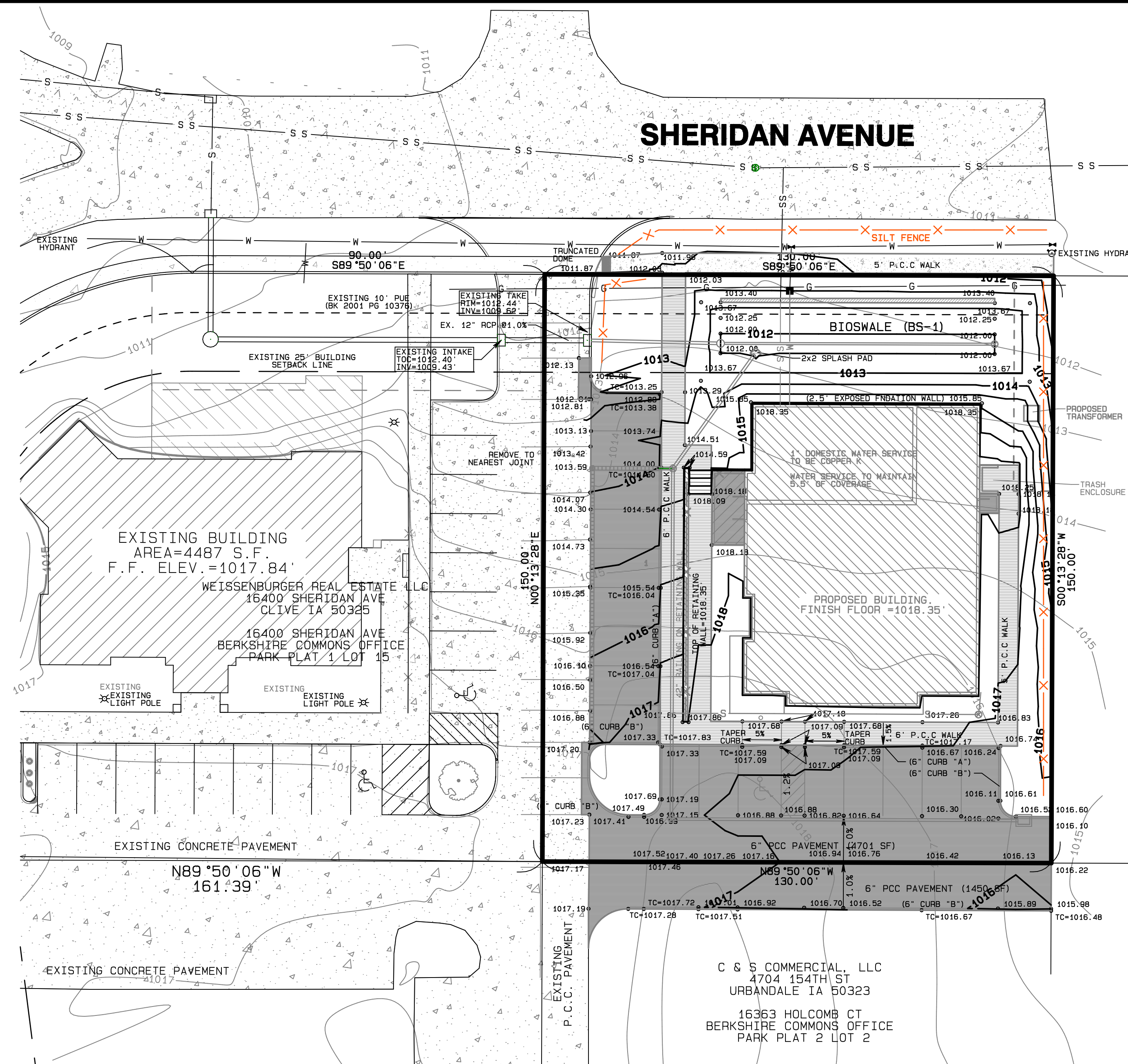
CONCRETE WASHOUT AREA
CONCRETE TRUCKS WILL BE ALLOWED TO WASHOUT OR DISCHARGE EXCESS CONCRETE IN SPECIFICALLY DESIGNATED AREAS. THE WASHOUT WILL BE INSTALLED AS SHOWN ON THE DETAIL PROVIDED IN SECTION 4 OF THE SWPPP. THE WASHOUT AREA SHOULD BE CONSTRUCTED AT A MINIMUM LENGTH AND WIDTH OF 50 FEET AND WILL BE LINED WITH A 10 MILS THICK PLASTIC LINING. FILTER SOCK WILL BE INSTALLED SURROUNDING THE WASHOUT AREA TO PREVENT THE SPILLAGE OF CONCRETE. THE SITE SUPERINTENDANT IS RESPONSIBLE FOR POSTING SIGNS AT THE WASHOUT LOCATIONS TO ENSURE CONCRETE OPERATORS USE THE PROPER FACILITY.

NON-STORM WATER DISCHARGES
THE FOLLOWING IS A LIST OF NON-STORM WATER DISCHARGES ALLOWED BY THE ENVIRONMENTAL PROTECTION AGENCY AND THE IOWA DEPARTMENT OF NATURAL RESOURCES AND MAY OCCUR AT THE JOB SITE UNDER THE CONDITION THAT NO POLLUTANTS WILL BE ALLOWED TO COME INTO CONTACT WITH THE WATER PRIOR TO OR AFTER ITS DISCHARGE FROM THE SITE:

- WATER FROM FIRE FIGHTING ACTIVITIES AND FIRE HYDRANT FLUSHING EXCLUDING THE PRESENCE OF DRY RESIDUAL CHLORINE
- WATER USED TO WASH VEHICLES WHEN DETERGENTS ARE NOT USED
- POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHING, IRRIGATION DRAINAGE AND ROUTINE BUILDING WASH DOWNS EXCLUDING DETERGENTS.
- UNCONTAMINATED AIR CONDENSATION CONDENSATE
- UNCONTAMINATED SPRINGS OR GROUND WATER
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS HAVE NOT BEEN EXPOSED TO SOLVENTS
- PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF HAZARDOUS MATERIAL HAS NOT OCCURRED AND NO DETERGENTS ARE PRESENT
- WATER USED TO CONTROL DUST
- UNCONTAMINATED EXCAVATION Dewatering

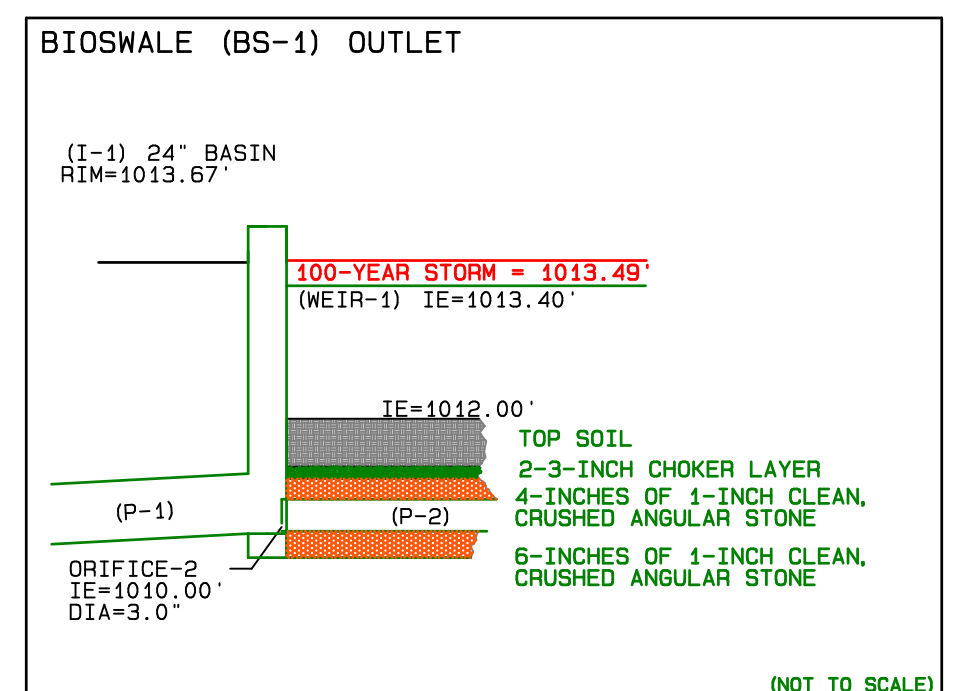
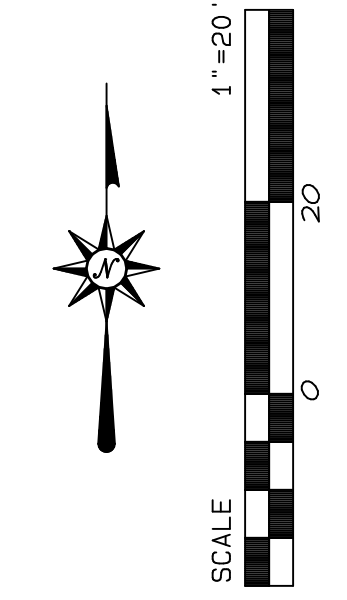
PROHIBITED DISCHARGES
THE FOLLOWING DISCHARGES ARE PROHIBITED UNDER THE PERMIT, AND ARE CONSIDERED A VIOLATION SHOULD ANY OCCUR.

- WASTEWATER FROM WASHOUT OF CONCRETE, AND FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE.
- SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING
- TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE
- THE FOLLOWING SHALL NOT DISCHARGE DIRECTLY TO THE STORM DRAIN OR TO SURFACE WATER
 - SAW CUTTING AND GRINDING
 - VEHICLE WASH
- DISCHARGES OF RUNOFF FROM MATERIAL STORAGE AREAS CONTAINING CHEMICALS, FUELS, GREASE, OIL OR HAZARDOUS MATERIALS;



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URBANDALE IA 50323

16340 SHERIDAN AVE
BERKSHIRE COMMONS OFFICE
PARK PLAT 1 LOT 13



- RAILINGS AND HANDRAILS
- HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF THE STEPS ADJACENT TO THE FRONT STOOP
 - A 42-INCH-HIGH GUARDRAIL SHALL BE INSTALLED ALONG THE TOP OF THE RETAINING WALL LOCATED ON THE WEST SIDE OF THE BUILDING.
 - A 42-INCH-HIGH GUARDRAIL SHALL BE INSTALLED ALONG THE NORTH AND WEST SIDES OF THE WEST ENTRANCE LANDING.
 - REFER TO THE ARCHITECTURAL DRAWINGS FOR GUARDRAIL AND HANDRAIL DESIGN DETAILS AND SPECIFICATIONS.

ASSOCIATED ENGINEERING
 COMPANY OF IOWA
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REVISIONS

PROJECT MANAGER: VALER POPP

IVORY LOTUS COMMERCIAL SITE PLAN
 GRADING PLAN PLAN

DATE PRINTED
 Tue May 26, 2026
 AEC #: 214686

LEGAL DESCRIPTION (10' ELECTRIC EASEMENT)

A PART OF LOT 14 IN BERKSHIRE COMMONS OFFICE PARK PLAT 1, AN OFFICIAL PLAT ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF CLIVE, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 00°13'28" WEST, A DISTANCE OF 55.01 FEET; THENCE NORTH 89°46'32" WEST, A DISTANCE OF 10.00 FEET; THENCE NORTH 00°13'28" EAST, A DISTANCE OF 55.00 FEET; THENCE SOUTH 89°50'06" EAST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.01 ACRES, MORE OR LESS.

DIMENSION TABLE (UTILITY EASEMENT)

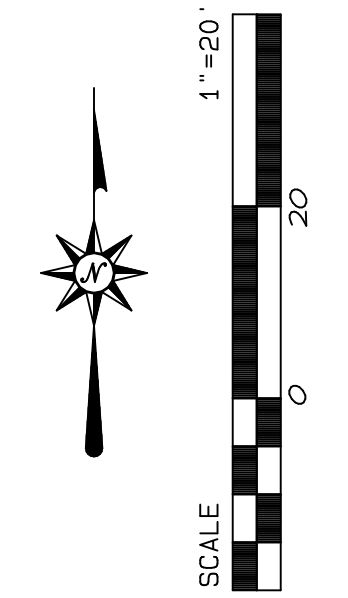
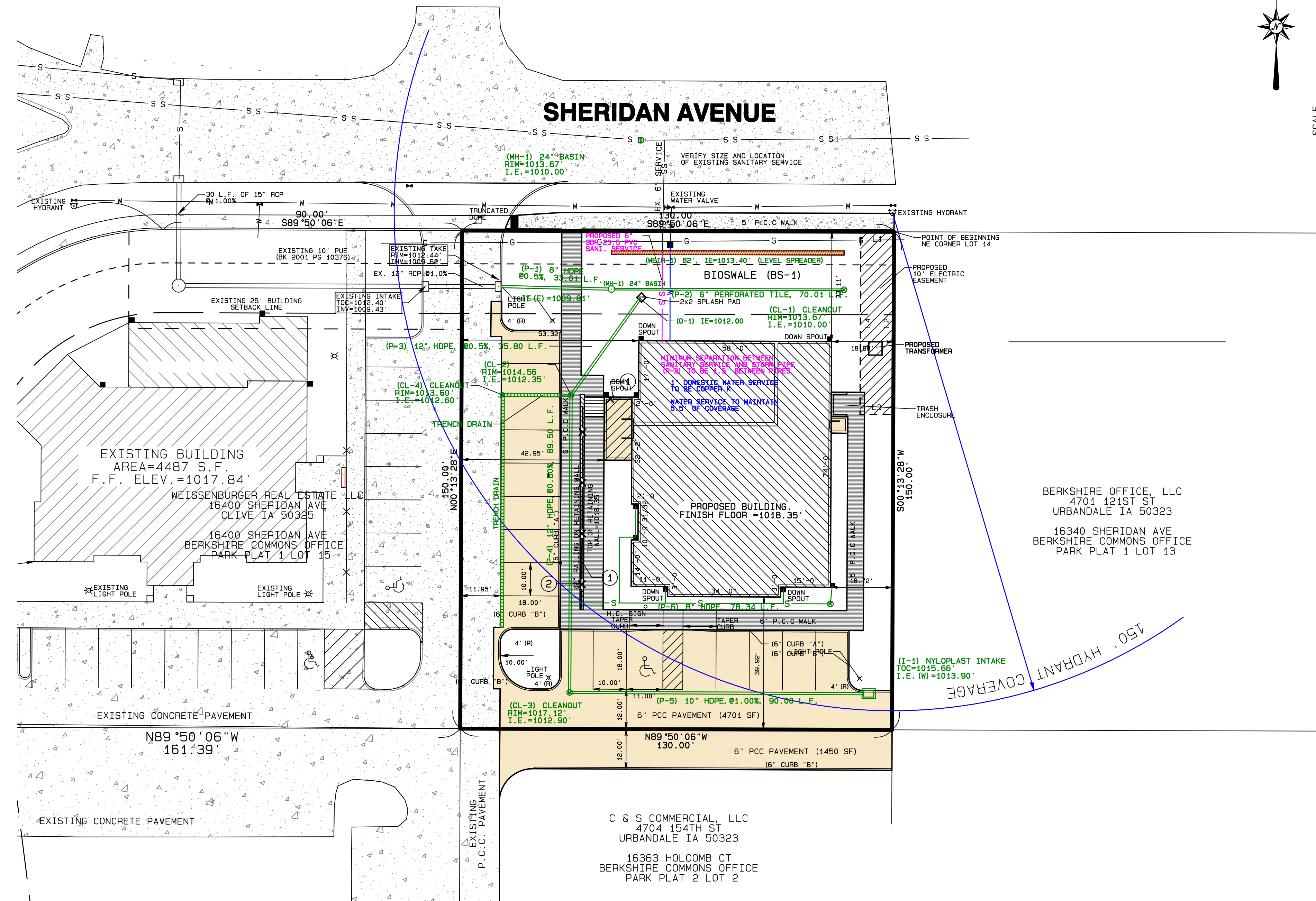
LINE	BEARING	DISTANCE
L1	S89°50'06"E	10.00'
L2	S00°13'28"W	30.00'
L3	N89°46'32"W	10.00'
L4	N00°13'28"E	29.99'

CITY NOTES (APPENDIX D IN THE CLIVE DEVELOPMENT STANDARD MANUAL)

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLIVE'S DEVELOPMENT REGULATIONS, POLICIES, AND STATEWIDE URBAN DESIGN AND STANDARDS MANUAL (SUDAS).
- ONE WEEK PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF CLIVE.
- THE CONTRACTOR AND DEVELOPER'S ENGINEER SHALL ATTEND A REQUIRED PRECONSTRUCTION MEETING WITH THE CITY PUBLIC WORKS AND ENGINEERING DEPARTMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL SANITARY SEWER, SUMP AND WATER MAIN SERVICES AND VERIFYING LOCATIONS ON THE AS-BUILT DRAWINGS.
- RECONNECT ANY FIELD TILE THAT IS INTERCEPTED DURING UTILITY CONSTRUCTION. LOCATION OF FIELD TILE SHALL BE NOTED ON THE AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD.
- PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS, AS-BUILT RECORD DRAWINGS (HORIZONTAL AND VERTICAL AS-BUILT DATA IN STATE PLANE COORDINATES AND NAVD 88 DATUM) FOR ALL WATER, SANITARY SEWER, STORM SEWER PIPING AND ASSOCIATED APPURTENANCES, AND SITE GRADING WILL BE PROVIDED (VOLUME CALCULATIONS FOR ALL STORM WATER DETENTION FACILITIES SHALL ALSO BE PROVIDED).
- SIDEWALK AND DRIVEWAY APPROACH INSTALLATIONS SHALL BE INSPECTED BY THE CITY OF CLIVE FOLLOWING A MINIMUM 48-HOUR NOTICE.
- THE OWNER/CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
- AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED ON CITY OF CLIVE RIGHT-OF-WAY.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
- OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR CREWS AND EQUIPMENT.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF CLIVE INSPECTORS BASED ON ACTUAL FIELD CONDITION.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY/FINAL PLAT APPROVAL, ALL UTILITY STRUCTURES, MANHOLES, VALVES, INTAKES SHALL BE RAISED LEVEL WITH FINISH GRADE.
- ALL UTILITIES, INCLUDING ELECTRICAL AND TELEPHONE SHALL BE LOCATED UNDERGROUND.
- ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHER LANDSCAPING IS IDENTIFIED ON THE SITE PLAN.
- EXISTING LANDSCAPING SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE DURING CONSTRUCTION.
- ALL TRASH DUMPSTERS SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE.
- ALL ROOF MOUNTED MECHANICAL UNITS AND/OR TELECOMMUNICATION DEVICES OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE OR LANDSCAPING.
- ALL TOPSOIL MUST MEET CLIVE POST-CONSTRUCTION STORM WATER MANUAL. TOPSOIL SHALL BE MINIMUM 4" DEPTH, MINIMUM (2" OR AS INDICATED IN SWMP) ORGANIC CONTENT, 6.0-8.0 PH, MAXIMUM 25% FRIABLE CLAY CONTENT, AND FREE OF DEBRIS, HARD CLODS, ROOTS, SOIL STIFF CLAY, HARD PAN, AND STONES LARGER THAN 1" INCH.
- ALL TOPSOIL MUST MEET IOWA DEPARTMENT OF NATURAL RESOURCES GENERAL PERMIT #2 REQUIREMENTS TO MINIMIZE SOIL COMPACTION, DEFINED AS WORKING THE SOIL PRIOR TO SEEDING/SODDING SUCH THAT A PENETROMETER CAN BE INSERTED INTO THE UPPER 6" INCHES WITH LESS FORCE THAN 200 PSI. AS AN ALTERNATIVE TO THE PENETROMETER TEST, A SOIL WITH BULK DENSITY LESS THAN 1.49 GRAMS/CUBIC CENTIMETER SHALL BE DEEMED COMPLIANT WITH THIS REQUIREMENT.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- NO CHANGES TO THE APPROVED PLAN MAY BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- CONTRACTOR, FINANCING AND/OR PROJECT IDENTIFICATION SIGNS SHALL NOT BE INSTALLED ON THE CITY OF CLIVE RIGHT-OF-WAY.
- VALVES INCLUDED IN STORMWATER MANAGEMENT FACILITIES SHALL BE CLOSED AT THE TIME OF FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY/APPROVAL OF FINAL PLAT.

PUBLIC UTILITY NOTE

PLEASE BE ADVISED THE PROPOSED WEIR (LEVEL SPREADER) IS LOCATED WITHIN THE PUBLIC UTILITY EASEMENT. STRUCTURES MAY BE CONSTRUCTED IN THE PUE; HOWEVER, DAMAGES OR REMOVALS CAUSED BY EASEMENT ACCESS MAY REQUIRE RESTORATION BY THE PROPERTY OWNER. GENERALLY, THE PUES ARE FOR NON-CITY UTILITIES, E.G. ELECTRIC, GAS, FIBER.



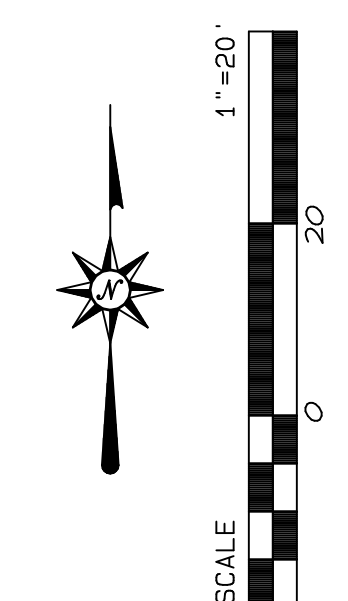
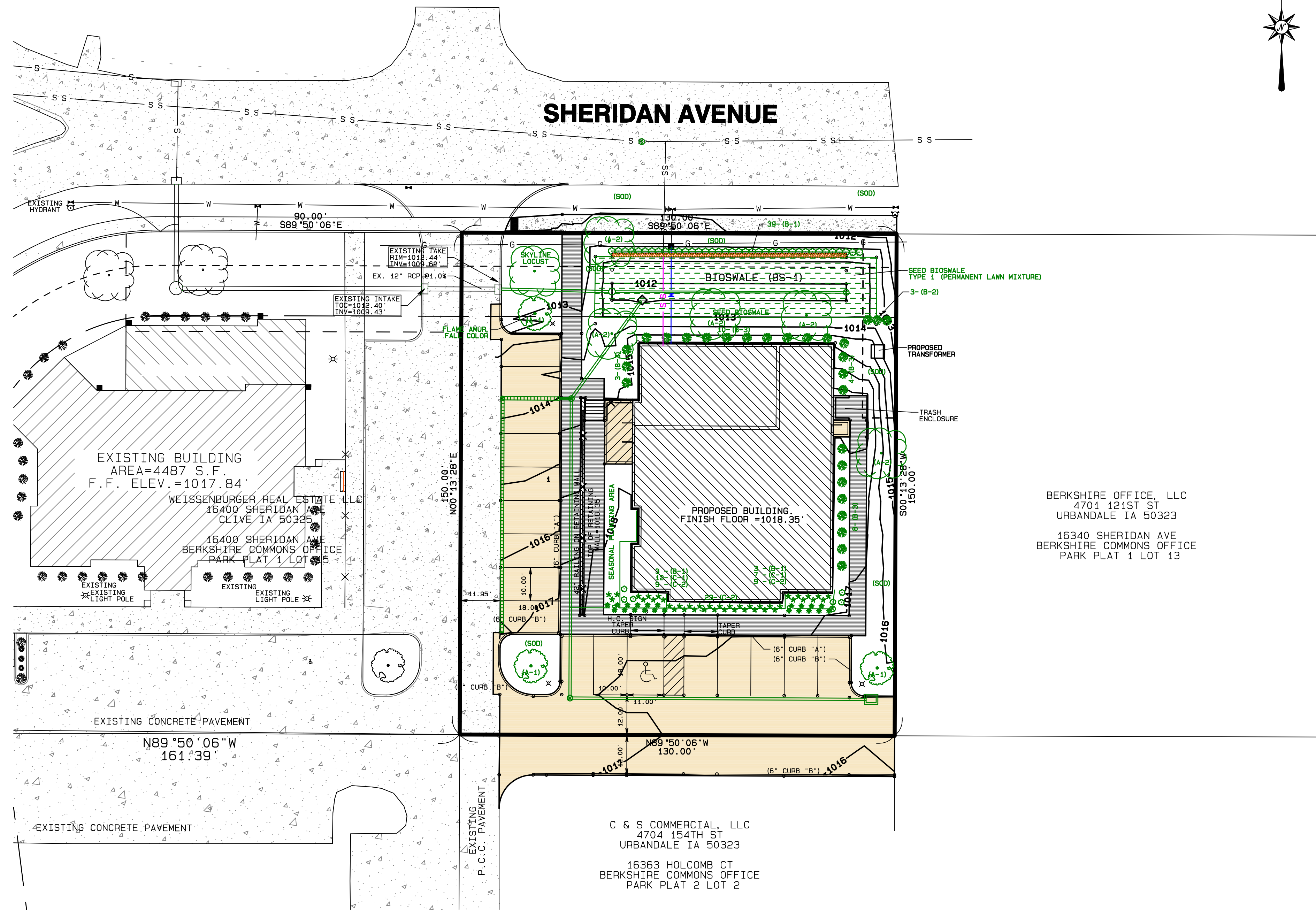
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- RAILINGS ON WEST SIDE OF BUILDING BRAND OF RAILINGS WESTBURY <https://biggerspecialties.com/products/railing/ada-handrail/>
- POURED CONCRETE WALL WITH FORM LINER PATTERN (SEE EXAMPLE BELOW)



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IVORY LOTUS COMMERCIAL SITE PLAN
 DIMENSIONING

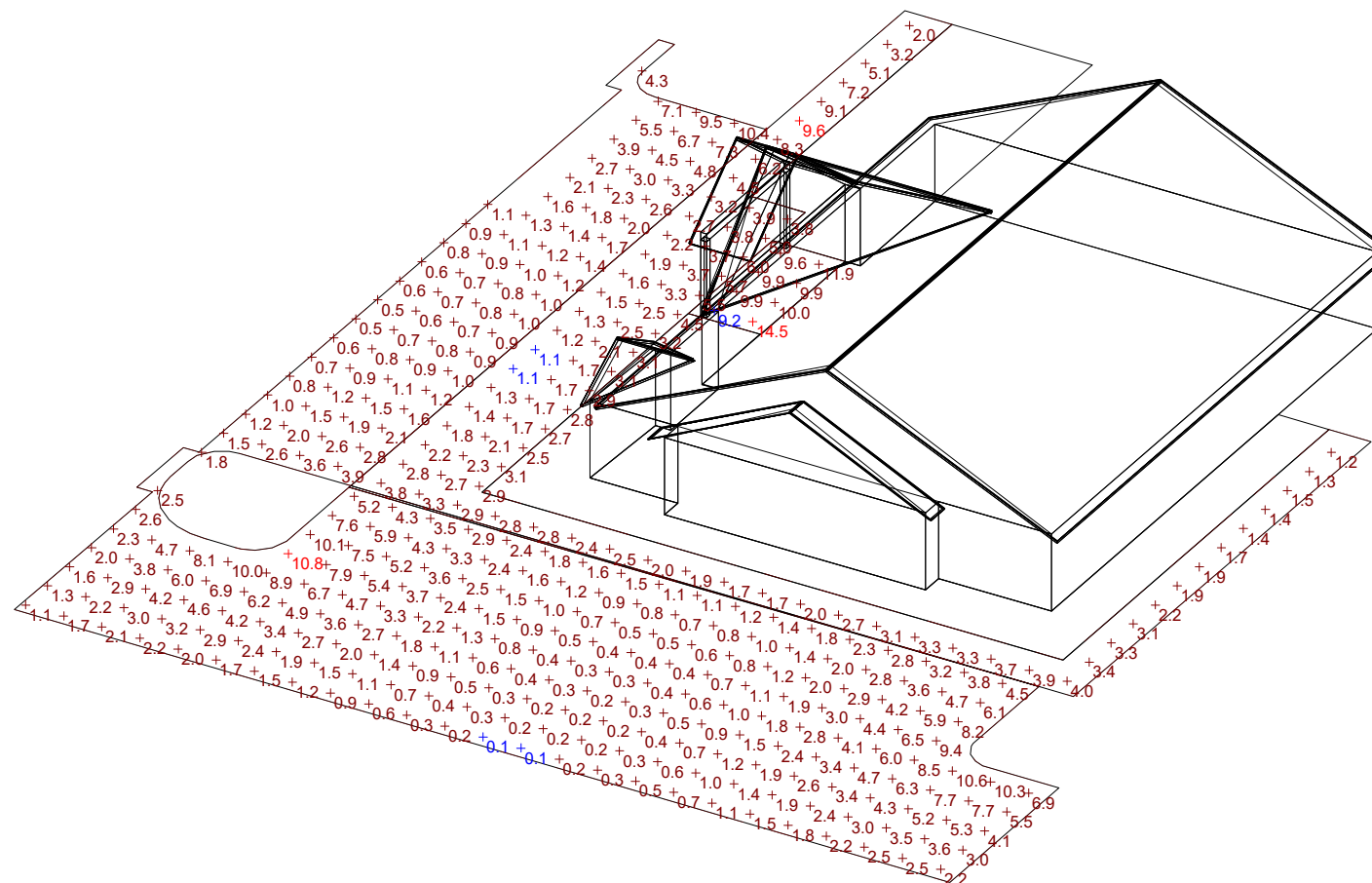
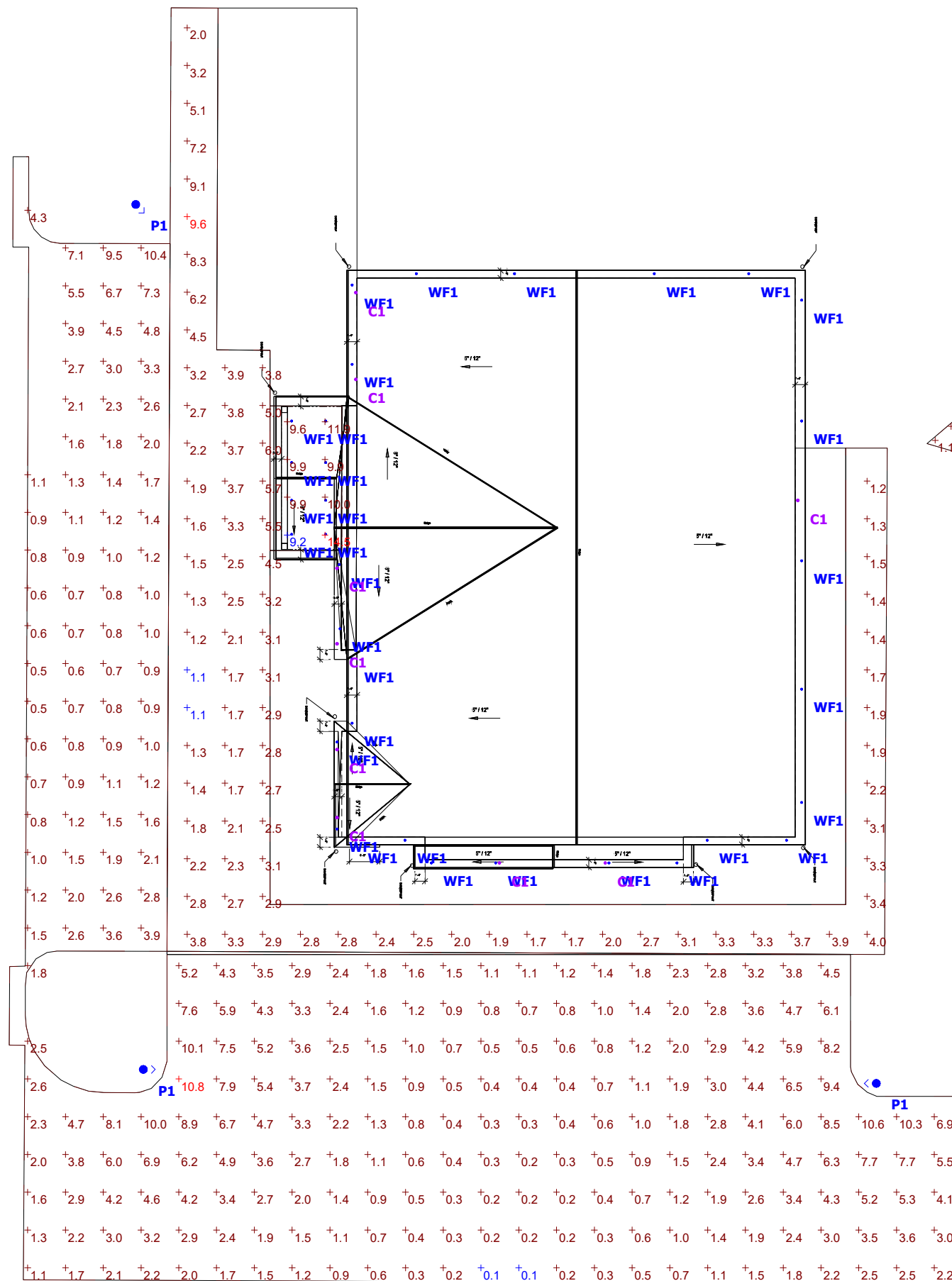


BERKSHIRE OFFICE, LLC
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 URBANDALE IA 50323
 16340 SHERIDAN AVE
 BERKSHIRE COMMONS OFFICE
 PARK PLAT 1 LOT 13

C & S COMMERCIAL, LLC
 4704 154TH ST
 URBANDALE IA 50323
 16363 HOLCOMB CT
 BERKSHIRE COMMONS OFFICE
 PARK PLAT 2 LOT 2

LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE AT PLANTING	QUANTITY
(A-1)	TRIDENT MAPLE	Acer buergerianum	2.5-inch CALIPER	3 EACH
(A-2)	KENTUCKY COFFEE TREE	Gymnocladus dioica	2.5-inch CALIPER	5 EACH
(B-1)	KARL FORESTER	Osmanthus acutiflora	GALLON	45 EACH
(B-2)	YELLOW TWIG DOGWOOD	Cornus sericea 'Flaviramea'	GALLON	3 EACH
(B-3)	GOLDBOUND CARPET SPIREA	Spiraea x bumalda 'Goldmound'	GALLON	24 EACH
(C-1)	DAYLILIES	Hemerocallis	GALLON	19 EACH
(C-2)	HOSTA	genus Hosta	GALLON	41 EACH

REQUIRED TREES
 1.5 TREE PER 1,000 SF OR REQUIRED OPEN SPACE
 (4,750 SF / 1,000 SF) x 1.5 TREES = 7 TREES REQUIRED



South East View

Statistics

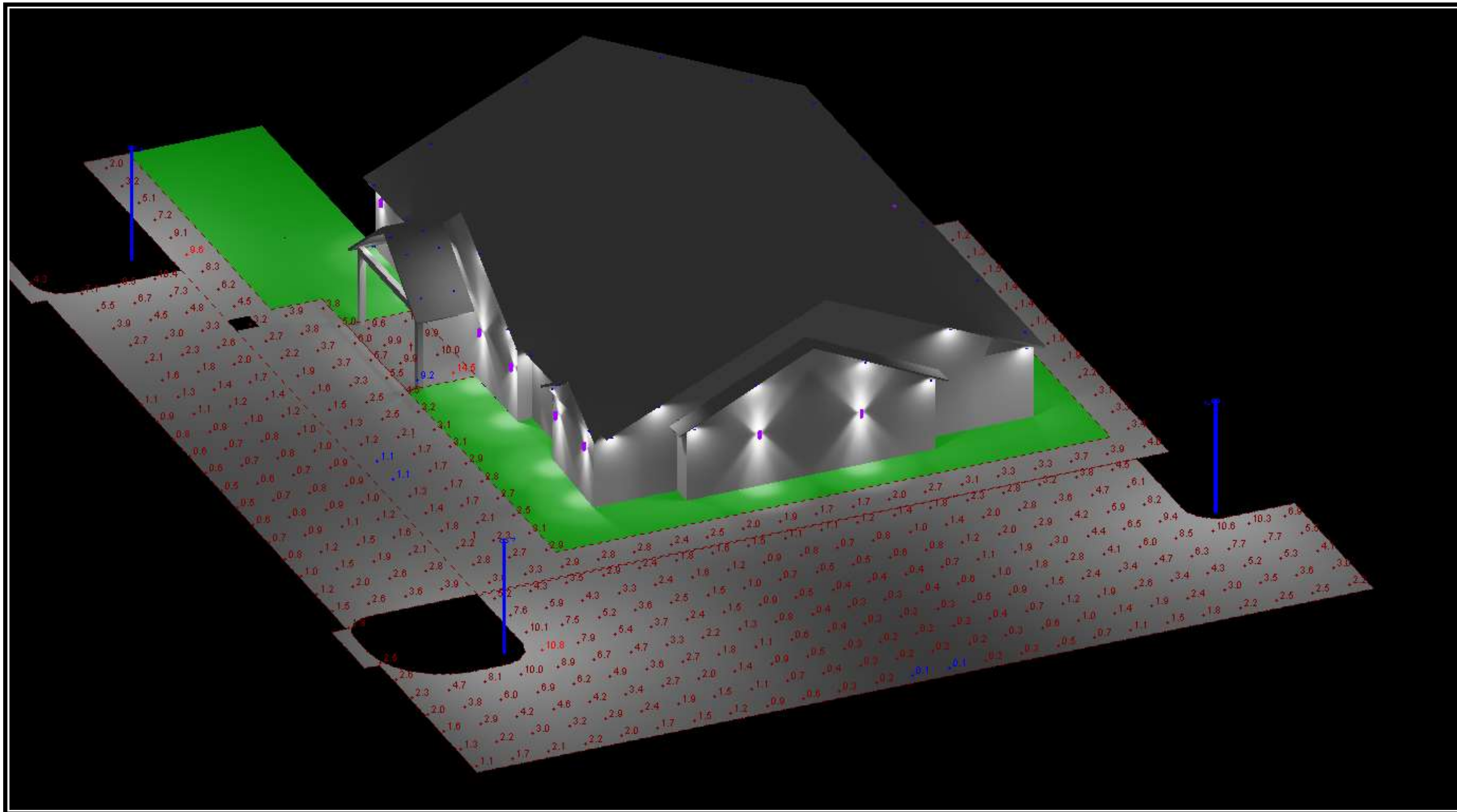
Description	Symbol	Avg	Max	Min
Entry	+	10.6 fc	14.5 fc	9.2 fc
Parking Lot	+	2.6 fc	10.8 fc	0.1 fc
Sidewalks	+	3.0 fc	9.6 fc	1.1 fc

Schedule

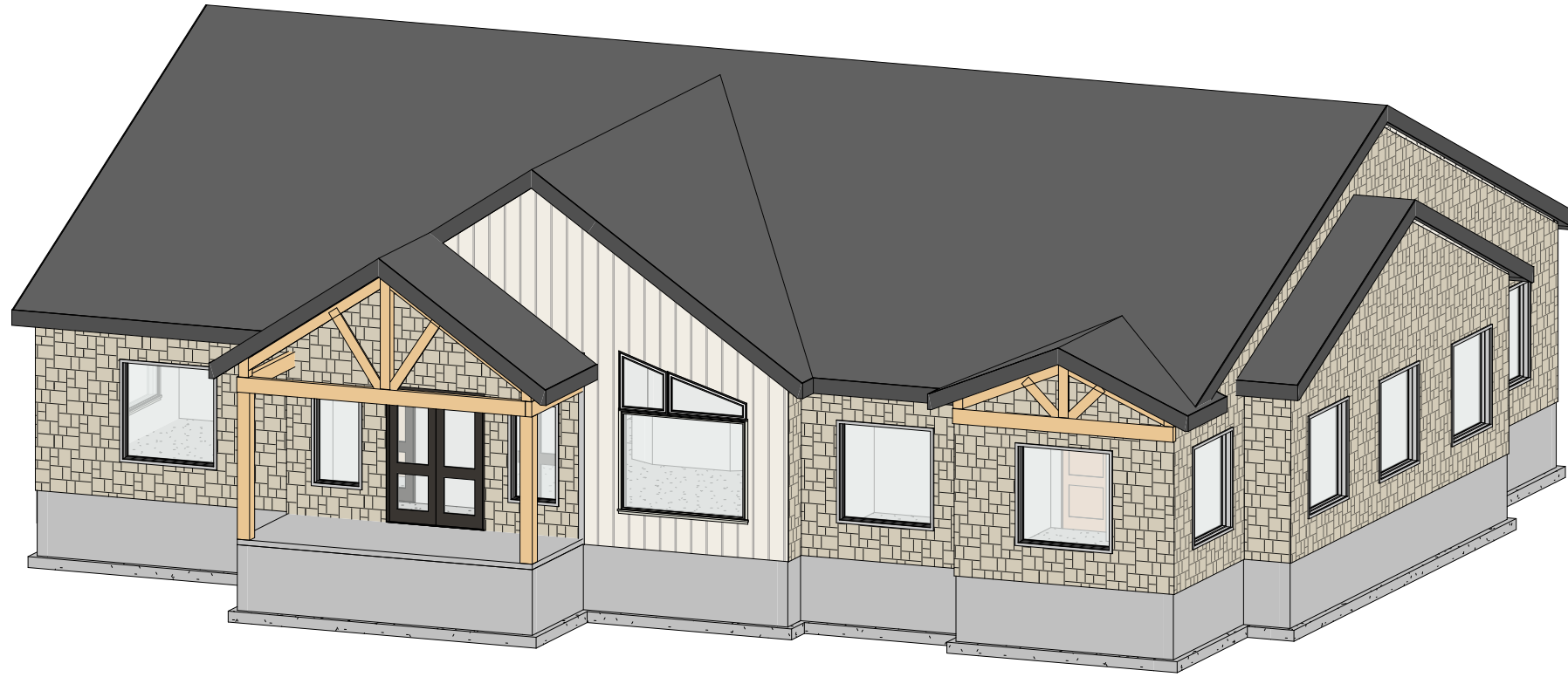
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	C1	9	CD34-6WK
	P1	3	ASD-LSB5R-PRO-100BK

Designer
Jackson McGovern
Date
02/05/2026
Scale
Not to Scale
Drawing No.
1

Ivory Lotus Therapy x MinAko Homes Soffit Lighting



Designer
Jackson McGovern
Date
02/05/2026
Scale
Not to Scale
Drawing No.
1
Summary



Custom Commercial Plan
Unit A - Ivory Lotus Therapy
3544 Square Feet
Unit B
943 Square Feet

Sheet List	
Sheet No.	Name
A0.0	Cover Sheet
A1.0	General Notes
A3.0	Front Elevation
A3.1	Rear & Side Elevations
A3.2	Roof Plan
A4.1	Main Level Floor Plan
A5.0	Break Room Plan & Elevations
A5.1	Unit A - Plans & Elevations
A5.2	Unit B - Bath Plan & Elevation
A6.0	Fireplace Plan & Elevation
S1.0	Foundation Plan
S3.0	Wall Sections
S4.0	Framing Details

Area Schedule (Concrete Flatwork)	
Name	Area
Main Level Slab	4461 SF

Area Schedule (Gross Building)	
Name	Area
Unit B Area	943 SF
Unit A Area	3544 SF



Customer:
Jasmina Pajzetovic

Address:
16360 Sheridan Ave
Clive, IA 50325

Drawn by:
DDB

Preliminary Set
5/4/26

NOT FOR CONSTRUCTION

Revision Schedule	Date	
	Rev. No.	Description

Cover Sheet

A0.0

Construction Notes

1. All footings based on 2000 psf soil capacity.
2. All exterior dimensions run from outside of sheathing to outside of sheathing, or face of foundation wall to face of foundation.
3. All Interior dimensions run from face of stud to face of stud.
4. I-joists must span requirements of the specified manufacturer.
Solid blocking or bridging provided of spans over 12' (with no more than 8' between successive runs of blocking or bridging.)
5. All exterior headers to be dbl 2x12 unless noted otherwise.
6. Verify all rough openings for windows and doors with suppliers.
7. Provide proper bearing under all headers and beams.
8. Insulate all cantilevers and blind corners and living areas over unheated areas, including tubs, showers, and fireplaces.
9. Provide solid blocking behind all handrail brackets, etc.
10. All headers and flush beams are considered below deck unless noted flush.
11. Flash and caulk all exterior doors, windows, and stoops.
12. Glue and screw all flooring
13. Adjust flooring layout to miss stool plumbing and vents.
14. Top of footing shall be minimum 3'-0" below grade.
15. Build up under exterior doors for flooring.

Note:

1. Design of the Structure is in Accordance with the IBC 2021 Group B
2. All Square Foot Calculations Are Approximate.
Building Envelope to meet IECC 2012 Energy Code.
3. Appliances not included and are shown for location reference only.

Door Schedule							
Type Comments	Description	Width	Height	Rough Width	Rough Height	Count	Level
DE50	Trash Enclosure Door - See Elevations	5' - 0"	6' - 0"	5' - 2"	6' - 2 1/2"	1	T.O. Foundation
BD30	3'-0" Barn Door	3' - 0"	6' - 8"	3' - 2"	6' - 9"	1	F. Flr. Main Level
BD50	See Specifications from Rustica	4' - 3 3/8"	6' - 8"	2' - 8"	6' - 9"	1	F. Flr. Main Level
D30	3'-0" Interior Door	3' - 0"	8' - 0"	3' - 2"	8' - 1"	20	F. Flr. Main Level
DD60	6'-0" Double Interior Door	6' - 0"	8' - 0"	7' - 2"	8' - 1"	2	F. Flr. Main Level
E30	3'-0" Full Lite Exterior Door	3' - 0"	8' - 0"	3' - 4"	8' - 4"	2	F. Flr. Main Level
E60	6'-0" Front Entry Double Door	6' - 0"	8' - 0"	6' - 4"	8' - 4"	2	F. Flr. Main Level

Window Schedule								
Type Comments	Description	Rough Opening		Rough Width	Rough Height	Head Height	QTY	Level
		Width	Height					
FX2672	2'-6" x 6'-0" Fixed	2' - 5 1/2"	5' - 11 1/2"	2' - 6"	6' - 0"	7' - 11 1/2"	1	F. Flr. Main Level
FX3060	3'-0" x 6'-0" Fixed	2' - 11 1/2"	5' - 11 1/2"	3' - 0"	6' - 0"	7' - 11 1/2"	2	F. Flr. Main Level
FX6060	6'-0" x 6'-0" Fixed	5' - 11 1/2"	5' - 11 1/2"	6' - 0"	6' - 0"	7' - 11 1/2"	19	F. Flr. Main Level
M8080	Mulled - 8'-0" x 6'-0" Fixed w/ 2'-6" x 5'-0" Casement and Fixed Trapezoid Windows Above	7' - 11 1/2"	5' - 11 1/2"	8' - 0"	6' - 0"	7' - 11 1/2"	1	F. Flr. Main Level



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Revision Schedule	Date
	Description
Rev. No.	

General Notes

A1.0

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Preliminary Set
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NOT FOR CONSTRUCTION



1 Front Elevation
1/8" = 1'-0"

Material Calculations (City of Clive)				
Rear Elevation	999.7 SF Total		W/O Glazing: 752.2 SF Total	
Glass =	247.5 SF	25%	0 SF	0%
Stone Veneer =	550.4 SF	55%	550.4 SF	73%
Metal Siding =	201.8 SF	20%	201.8 SF	27%

Revision Schedule	Date	
	Rev. No.	Description

Front Elevation

A3.0

Customer:
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Drawn by:
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Preliminary Set
5/4/26

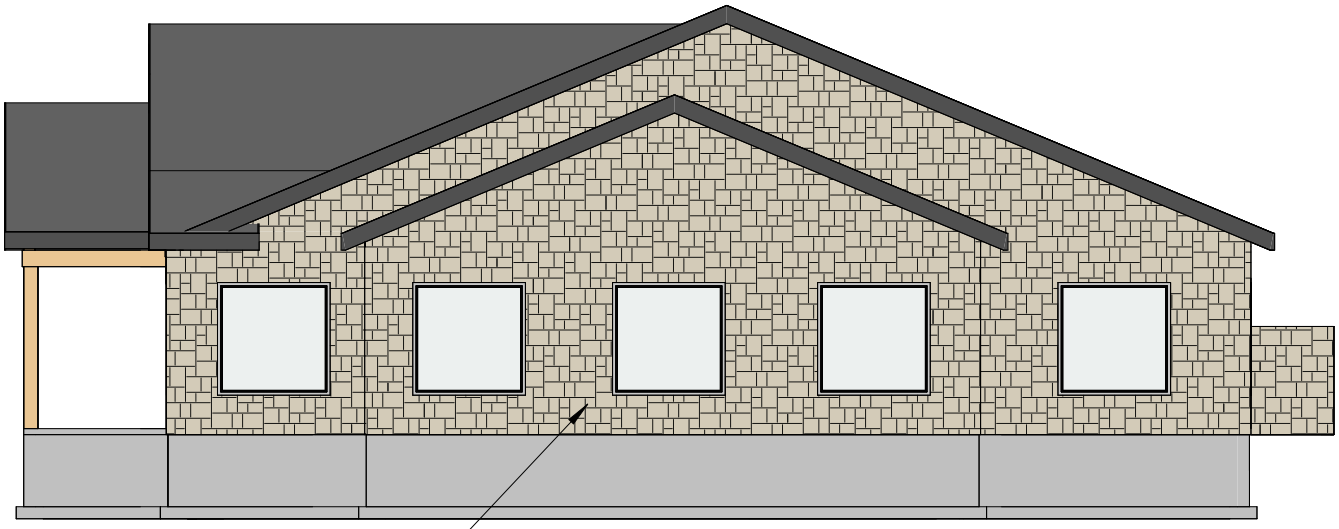
NOT FOR CONSTRUCTION

Rev. No.	Description	Date

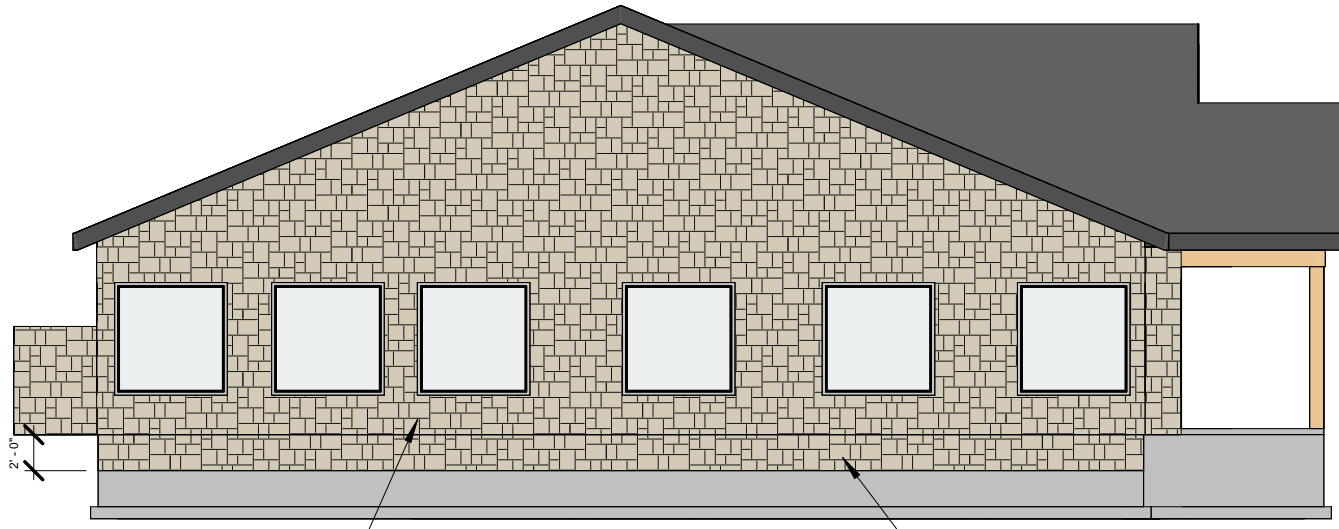


① Rear Elevation
1" = 10'-0"

- Siding Notes:
- 4" trim Around Door and Windows on Side and Rear Elevations
 - 4" Corner Trim Typical
 - No Bandboard Across Base of Siding Unless Specifically Noted Otherwise
 - 8" Fascia Standard



② Right Elevation
3/32" = 1'-0"



③ Left Elevation
3/32" = 1'-0"

Material Calculations (City of Clive)							
Rear Elevation	784.2 SF Total		W/O Glazing: 565.2 SF Total		Right Elevation	948.4 SF Total	
Glass =	219 SF	28%	0 SF	0%	Glass =	180 SF	19%
Stone Veneer =	565.2 SF	72%	565.2 SF	100%	Stone Veneer =	768.4 SF	81%
					W/O Glazing: 768.4 SF Total	0 SF	0%
					Left Elevation	988.3 SF Total	
					Glass =	216 SF	22%
					Stone Veneer =	772.3 SF	78%
					W/O Glazing: 772.3 SF Total	0 SF	0%

Rear & Side Elevations

A3.1



Pattern #2100

Roughcast Ashlar Stone



2'x 2' Picture Area

V-Lite Plastic Formliner



Materials

STY - Polystyrene (White) - Single Use
ABS (Gray) - Up to 10 Reuses



Care and Handling

Keep out of the sunlight and cover when not in use. Keep away from steam, acids, and certain fuels. For further instructions refer to application guide



Thermal Expansion

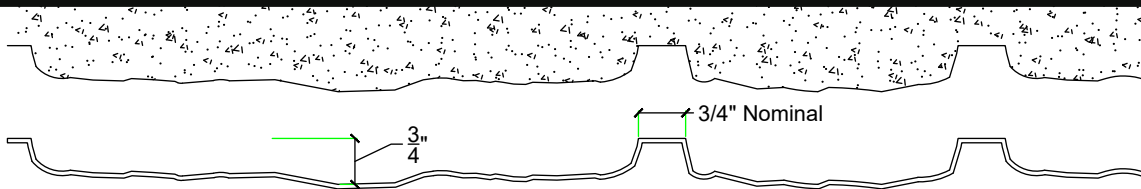
Approximately 1/16" per every 10°F change in material temperature.



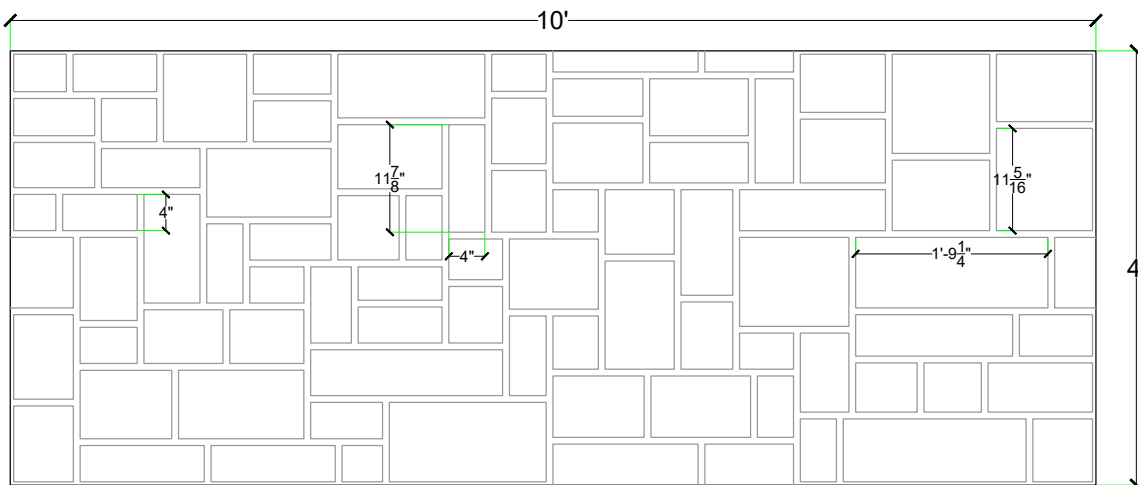
Note

Pattern may require additional backing. We recommend a mockup pour simulating actual job conditions. Refer to Application Guide.

SECTION VIEW



ELEVATION VIEW





Number of Modules: 1

Pattern Modules

MATCHING:

- End to End
- Top to Bottom
- Does Not Match

ROTATE 180 DEGREES:

- Yes
- No

ADDITIONAL BACKING REQUIRED:

- Yes
- No
- Maybe

STAGGERED PATTERN:

- Yes
- No

