



CLIVE PLANNING & ZONING COMMISSION

AGENDA, REGULAR MEETING

1900 NW 114th Street

September 2, 2025 5:30 PM

This meeting will be conducted in-person in the Council Chambers and virtually via Zoom platform. To participate virtually use the following link: <https://us06web.zoom.us/j/81194871820>

Call to Order

Roll Call

Approval of Meeting Minutes

1. Approve Meeting Minutes 08/05/2025

Action Items

1. Site Plan Amendment - Parks Maintenance Facility - 1885 NW 123rd St
2. Zoning Ordinance Amendment - Commercial Entertainment Uses
3. Urban Renewal Plan Amendment

Staff Report

Adjournment

CLIVE PLANNING AND ZONING COMMISSION MEETING MINUTES

Regular Session
August 5, 2025

This meeting was held in the Clive Public Safety Training Room and public access was provided in-person at City Hall and via Zoom. Information on how to access via Zoom was provided on the city's website and on the agenda. The recording of the meeting is available on the city's website at:

https://www.cityofclive.com/connect/boards_and_commissions/planning_and_zoning_commission.php

Call to Order/Roll Call

ALOWITZ CALLED THE MEETING TO ORDER AT 5:30 p.m.

PRESENT: MILLY ORTIZ-PAGAN, JULIE CORREA, CHRIS PANZI, JEFFREY ANDERZHON, MICHAEL ALOWITZ
ABSENT: LINDSAY BRANDON, MARCIA HUNTER
STAFF: AMANDA GRUTZMACHER, KATHRYN PURVIS, KELLY RIVERA

Action Items

1. Approve Meeting Minutes – July 1, 2025

Correa motioned to approve the July 1, 2025 meeting minutes, seconded by Ortiz.

Roll Call: Ayes: Correa, Ortiz, Panzi, Alowitz.

Abstain: Anderzhon

Motion carried.

2. Final Plat – Emerald Isle Townhomes Plat 1

The townhome development is consistent with the site plan and preliminary plat approved on August 11, 2022, and is ready for the final plat to be approved for recording with the county.

Ortiz motioned to recommend Final Plat approval of Emerald Isle Townhomes Plat 1, subject to outstanding staff comments, seconded by Panzi.

Roll Call: Ayes: Ortiz, Panzi, Correa, Anderzhon, Alowitz.

Motion carried.

3. Amendment to Zoning Ordinance - Variances

House File 652 was signed into law on April 25, 2025. The legislation requires the Board of Adjustment to utilize a "practical difficulties" standard for considering dimensional variances instead of the current "unnecessary hardship" standard.

Although the Planning & Zoning commission has no authority over the Board of Adjustment, the regulations for that board are within the City's Zoning Ordinance.

Therefore, a recommendation is required from the Commission prior to consideration of the ordinance amendment by the City Council.

The proposed ordinance separates the requirements related to use variances, which are uncommon and may still utilize the unnecessary hardship standard, and dimensional variances. Dimensional variances generally cover any numeric requirements within the zoning ordinance, e.g. number of parking stalls, percent of minimum open space, property line setbacks, sign display area, etc.

Panzi motioned to recommend approval of the Amendment to Zoning Ordinance regarding variances, seconded by Anderzhon.

Roll Call: Ayes: Panzi, Anderzhon, Ortiz, Correa, Alowitz.

Motion carried.

Staff Report

Adjournment at 6:52 p.m.



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: September 2, 2025

RE: Site Plan Amendment - Parks Maintenance Facility - 1885 NW 123rd St

GENERAL INFORMATION

Applicant: Jeff Thielen on behalf of City of Clive

Requested Action: Approval of Site Plan Amendment

Location: 1885 NW 123rd Street

LAND USES & ZONING			
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Open space	Open space	R-1, FF, FW
North	Open space	Open space	R-1, FF, FW
East	Open space Residential - Low Density	Open space Residential - Low Density	R-1, FF, FW
South	Open space	Open space	R-1
West	Open space	Open space	R-1, FF

CASE HISTORY

1991 - Campbell Recreation Area development

1994 - Site Plan Amendment for maintenance building

1997 - Site Plan Amendment for maintenance building expansion

2006 - Site Plan Amendment for additional maintenance building and recreation changes

2015 - Site Plan Amendment for maintenance building expansion

BACKGROUND

The Clive Parks and Recreation Department is requesting a site plan amendment to construct an approximately 1,500 sf addition to an existing maintenance facility building. The existing building and storage yard were constructed in 2006. The City has periodically expanded maintenance facilities, with the last Parks maintenance building expansion completed in 2015. The proposed addition will provide covered storage for equipment that is currently stored outside in the storage yard.

ANALYSIS

The proposed addition is constructed like a lean-to with an open back wall attached to

the existing building, pier footings, and no insulation, HVAC, or interior finishes. The end walls are enclosed and the north facade features four overhead doors and a man door. The building features a shed roof that ranges in height from approximately 10' 10" to 12' 6"; the eave height of the existing building is 14' 6". The proposed siding is a steel metal panel, which is not identified as a primary or secondary material in the Development Standards Manual. The storage yard is surrounded by an 8' tall privacy fence and the Greenbelt tree coverage blocks the view from surrounding properties.

The length of the addition is approximately two feet shorter than the existing building, and will not require modification to the existing downspout. The security camera on the northwest corner of the existing building will need to be reinstalled higher.

There are no impacts to the overall site layout and circulation, site lighting, landscaping, or utilities. Surface water flows are not impacted and no additional stormwater management is required.

PUBLIC COMMENT

Notice was sent to the surrounding property owners within 310-feet of the subject site on August 19, 2025. To date, staff has received no public comments.

STAFF RECOMMENDATION

Staff recommends approval of the site plan amendment.

Attachments:

1. Application
2. Notice letter and mail labels
3. Plans



City of Clive

1900 NW 114th Street

Clive, IA 50325-7077

Phone (515) 223-6221

www.cityofclive.com

APPLICATION FOR DEVELOPMENT REVIEW

PERMIT

STP25-000010 Site Plan Amendment

PROJECT LOCATION

north side of existing maintenance facility
building at Campbell Park

PROJECT DESCRIPTION

18x88 addition on north side of existing
maintenance facility for storage

APPLICANT

Jeff Thielen
1900 NW 114th Street
Clive, IA 50325
(515) 867-5101
jthielen@cityofclive.com

DEVELOPER

City of Clive
1900 NW 114th Street
Clive, IA 50325
(515) 867-5101
jthielen@cityofclive.com

ENGINEER

N/A

APPLICATION DATE

08/19/2025

PROJECT NAME

Campbell Park Maintenance Facility Storage
Addition

PROPERTY OWNER

City of Clive
1900 NW 114th Street
Clive, IA 50325
(515) 867-5101
jthielen@cityofclive.com

PROJECT MANAGER

City of Clive
1900 NW 114th Street
Clive, IA 50325
(515) 867-5101
jthielen@cityofclive.com

ARCHITECT

N/A

MEETING DATES

PLANNING & ZONING COMMISSION

09/02/2025

CITY COUNCIL

09/11/2025



August 19, 2025

Re: 1885 NW 123RD ST - Campbell Park Maintenance Facility Storage Addition

Dear Property Owner:

Jeff Thielen, on behalf of the City of Clive, has submitted a Site Plan Amendment to the City of Clive to construct an 18' x 88' addition on north side of an existing maintenance facility for storage located at Campbell Park. The project location is more specifically identified on the attached location map.

The Clive Planning and Zoning Commission will tentatively receive public input on this application during their meeting at 5:30 p.m., Sep 02, 2025. You may attend this meeting in person in the City Council Chambers, 1900 NW 114th Street, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. Meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by virtually attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Clive, City Planner, 1900 NW 114th Street, Clive, IA 50325 or by email at the address below.

Following the Planning and Zoning Commission's review and recommendation, the City Council will make a determination on this application. The public meeting has been tentatively scheduled for 6:00 p.m., on Sep 11, 2025, also to be hosted in person at the above address and virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. City Council meeting agendas are available on the City's meeting portal at <https://cliveia.portal.civicclerk.com/>.

If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council's meeting. If you have any questions concerning this application or if you would like additional information, please call the Community Development Department at (515) 223-6221.

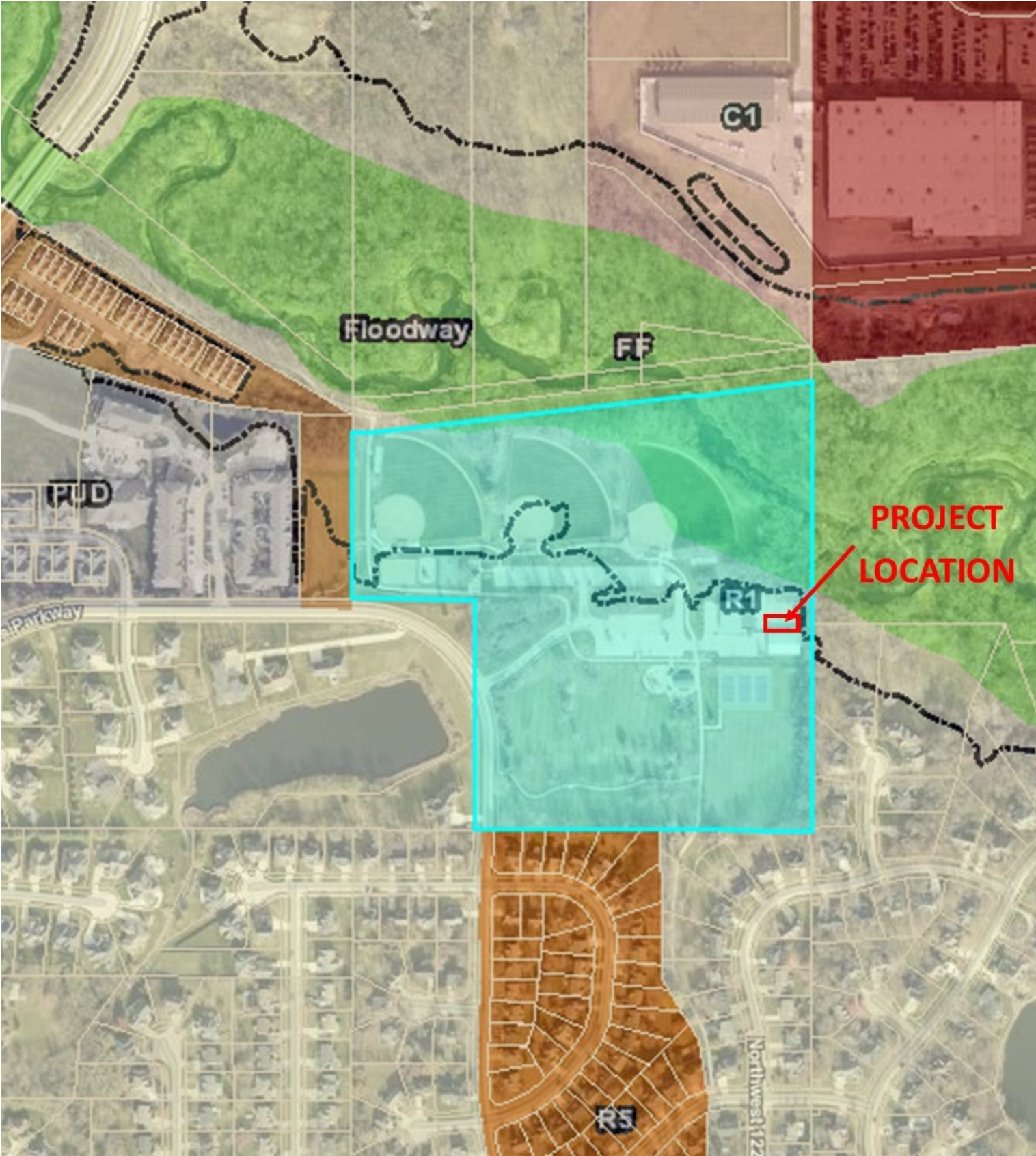
Sincerely,

A handwritten signature in cursive script that reads "Amanda Grutzmacher".

Amanda Grutzmacher

AGRUTZMACHER@CITYOFCLIVE.COM

LOCATION MAP



SCHLEHLEIN, NATHAN T
12352 LINCOLN AVE
CLIVE, IA 50325-8130

DAHLSTROM, SUZANNE R
12382 LINCOLN AVE
CLIVE, IA 50325-8130

WISNIESKI, DAVID G
12355 LINCOLN AVE
CLIVE, IA 50325-8125

DAVISON, ADAM B
12300 HICKMAN RD
CLIVE, IA 50325-8610

BROWN, CALEB J
1735 NW 123RD ST
CLIVE, IA 50325-8137

VAN MERSBERGEN, JASON W
1764 NW 122ND CT
CLIVE, IA 50325-8123

MC GILL, MARY A
1783 NW 122ND CT
CLIVE, IA 50325-8123

MEIER, MICHAEL S
12385 LINCOLN AVE
CLIVE, IA 50325-8125

DAY, PARKER
12405 LINCOLN AVE
CLIVE, IA 50325-8126

TUEL, LARRY
1768 NW 122ND ST
CLIVE, IA 50325-8124

GOODHALL, GARY
12500 WOODLANDS PKWY
CLIVE, IA 50325-8766

HICKORY HILLS LAKE PLT 1 LOT ASSOC
8450 HICKMAN RD STE 9
CLIVE, IA 50325-4302

JONES, JOSHUA L
12120 LINCOLN AVE
CLIVE, IA 50325-8131

JOHNSON, ROSS W
1736 NW 121ST CIR
CLIVE, IA 50325-8224

GILBERTSON, JON E
1805 NW 121ST CIR
CLIVE, IA 50325-8222

HESTER, JAMES
1685 NW 122ND ST
CLIVE, IA 50325-8112

STEWART, JAMES S
12104 LINCOLN AVE
CLIVE, IA 50325-8131

BARFELS, CHRISTOPHER J
12060 LINCOLN AVE
CLIVE, IA 50325-8218

BRANDON & JAMIE HORBACH LIVING TRUST
1698 NW 122ND ST
CLIVE, IA 50325-8113

SIASOCO, SUSAN R
1748 NW 122ND ST
CLIVE, IA 50325-8124

HANSEN, JAMES
1790 NW 121ST CIR
CLIVE, IA 50325-8224

METTILLE, CRAIG
1808 NW 121ST CIR
CLIVE, IA 50325-8222

COON, JEFFREY L
1680 NW 122ND ST
CLIVE, IA 50325-8113

LARRY L TUEL REVOCABLE LIVING TRUST
1768 NW 122ND ST
CLIVE, IA 50325-8124

GRENIER, BRUCE R
1728 NW 122ND ST
CLIVE, IA 50325-8124

STEFANI, RANDALL H
12087 LINCOLN AVE
CLIVE, IA 50325-8226

LUTZ, JONATHAN THOMAS
12094 LINCOLN AVE
CLIVE, IA 50325-8218

JOHN C AUER LIVING TRUST
1767 NW 121ST CIR
CLIVE, IA 50325-8220

WHITE, ERIC J
1764 NW 121ST CIR
CLIVE, IA 50325-8224

BOOT, KEVIN P
1753 NW 122ND CT
CLIVE, IA 50325-8123

ZIMMERMAN, DAVID W
1763 NW 122ND CT
CLIVE, IA 50325-8123

FITZGERALD, JOSEPH J
1773 NW 122ND CT
CLIVE, IA 50325-8123

FOLEY, TIMOTHY J
1793 NW 122ND CT
CLIVE, IA 50325-8123

POHLMEIER, TYLER
1784 NW 122ND CT
CLIVE, IA 50325-8123

KNOFF, KIM L
1733 NW 122ND CT
CLIVE, IA 50325-8123

BECKERT, STEVEN W
12325 LINCOLN AVE
CLIVE, IA 50325-8125

THOMSEN, MARK G
12322 LINCOLN AVE
CLIVE, IA 50325-8130

HANSEN, BLAIR G
1743 NW 122ND CT
CLIVE, IA 50325-8123

CORY WITTY & SANDRA WITTY TRUST
12400 WOODLANDS PKWY
CLIVE, IA 50325-8767

ZUBER, CRAIG D
1713 NW 122ND CT
CLIVE, IA 50325-8123

GARCIA, MARIA
1724 NW 122ND CT
CLIVE, IA 50325-8123

SWENSON, ADAM
1723 NW 122ND CT
CLIVE, IA 50325-8123

OWCA, JOSEPH A
1744 NW 122ND CT
CLIVE, IA 50325-8123

DIAL-CLIVE ASSISTED LIVING LP
11506 NICHOLAS ST STE 200
OMAHA, NE 68154-4421

DIAMOND RIDGE TOWNHOME ASSOC
12576 DIAMOND RIDGE CT
CLIVE, IA 50325-3204

CHRISTENS, DAVID M
1800 NW 123RD ST
CLIVE, IA 50325-8161

WOODLANDS CREEK RESERVE
HOMEOWNERS ASSOCIATION
1840 NW 127TH CT
CLIVE, IA 50325-7401

MENARD INC
4777 MENARD DR
EAU CLAIRE, WI 54703-9604

FOSTER, GERALD R
12350 HICKMAN RD
CLIVE, IA 50325-8610

OWNER/APPLICANT

CITY OF CLIVE
 ATTN: JEFF THIELEN, PARKS MANAGER
 1800 NW 114TH ST
 CLIVE, IOWA 50325
 515-223-6220

ADDRESS

12385 WOODLANDS PARKWAY
 CLIVE, IOWA 50325

CURRENT ZONING OF PROPERTY

R-1 (SINGLE-FAMILY RESIDENTIAL)
 FW (FLOODWAY)

LEGAL DESCRIPTION OF PROPERTY

A PART OF LOT 11 OF UNIVERSAL ACRES

TOTAL AREA OF SITE

1,349,750 SF OR 30.99 ACRES

PERCENT OPEN SPACE REQUIREMENTS

TOTAL AREA OF THE SITE = 1,349,750 SF
 AREA OF OPEN SPACE = X SF
 PERCENT OF OPEN SPACE = X%

PROPOSED USE OF SITE

EXISTING CLASSIFICATION = NEIGHBORHOOD PARK
 PROPOSED LAND USE = NEIGHBORHOOD PARK (NO CHANGE)

PARKING STALLS REQUIRED/PROVIDED

PROPOSED USE	STALL REQ'T	G.F.A.	REQUIRED STALLS	PROVIDED STALLS
NEIGHBORHOOD PARK	N/A	N/A	N/A	87

SETBACK REQUIREMENTS

BUILDING
 FRONT YARD = 35 FEET
 REAR YARD = 35 FEET
 SIDE YARD = 8 FEET

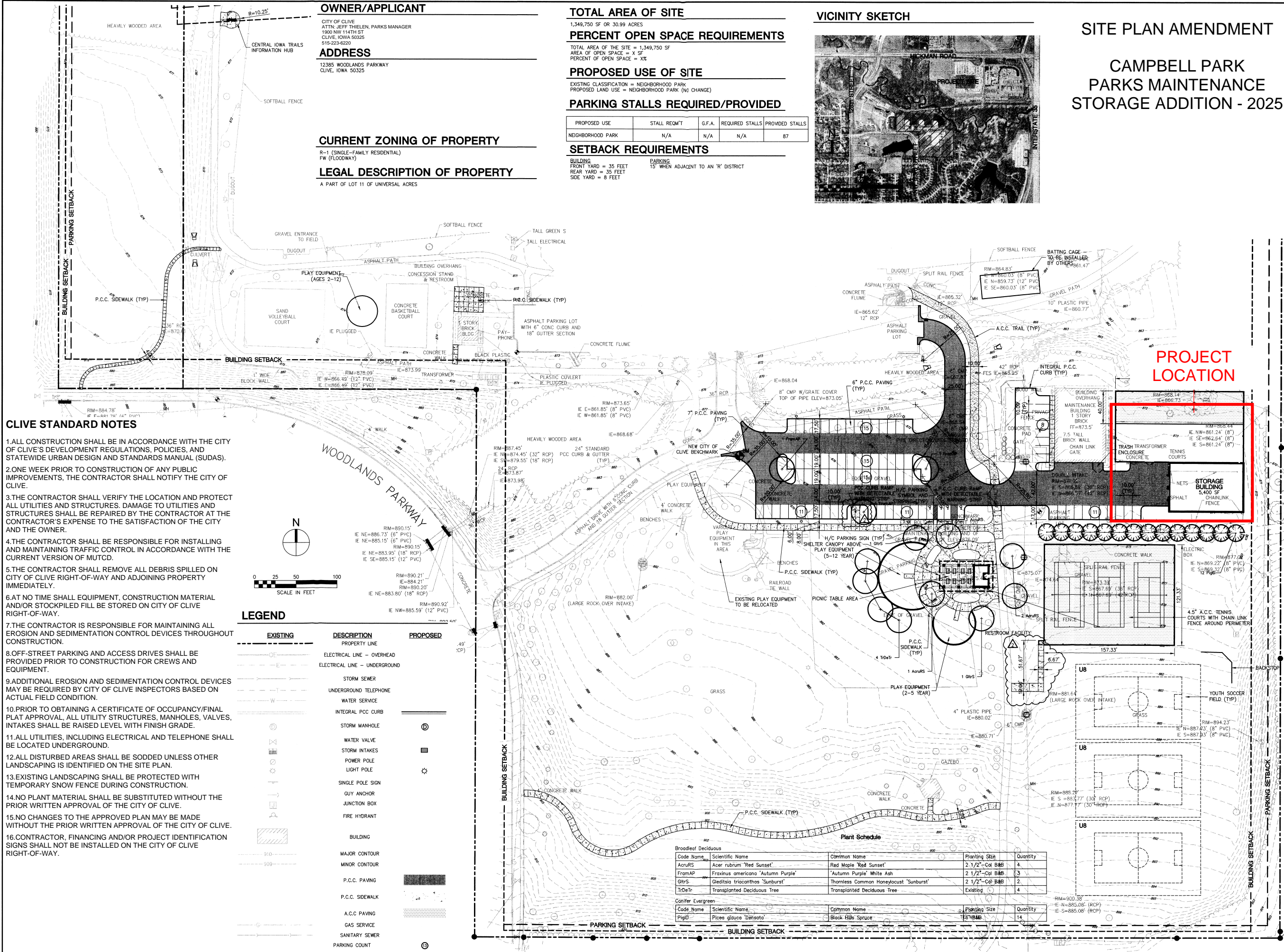
PARKING
 15' WHEN ADJACENT TO AN 'R' DISTRICT

VICINITY SKETCH



SITE PLAN AMENDMENT

**CAMPBELL PARK
 PARKS MAINTENANCE
 STORAGE ADDITION - 2025**



CLIVE STANDARD NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLIVE'S DEVELOPMENT REGULATIONS, POLICIES, AND STATEWIDE URBAN DESIGN AND STANDARDS MANUAL (SUDAS).
- ONE WEEK PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF CLIVE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
- AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED ON CITY OF CLIVE RIGHT-OF-WAY.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
- OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR CREWS AND EQUIPMENT.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF CLIVE INSPECTORS BASED ON ACTUAL FIELD CONDITION.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY/FINAL PLAT APPROVAL, ALL UTILITY STRUCTURES, MANHOLES, VALVES, INTAKES SHALL BE RAISED LEVEL WITH FINISH GRADE.
- ALL UTILITIES, INCLUDING ELECTRICAL AND TELEPHONE SHALL BE LOCATED UNDERGROUND.
- ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHER LANDSCAPING IS IDENTIFIED ON THE SITE PLAN.
- EXISTING LANDSCAPING SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE DURING CONSTRUCTION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- NO CHANGES TO THE APPROVED PLAN MAY BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- CONTRACTOR, FINANCING AND/OR PROJECT IDENTIFICATION SIGNS SHALL NOT BE INSTALLED ON THE CITY OF CLIVE RIGHT-OF-WAY.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	ELECTRICAL LINE - OVERHEAD	---
---	ELECTRICAL LINE - UNDERGROUND	---
---	STORM SEWER	---
---	UNDERGROUND TELEPHONE	---
---	WATER SERVICE	---
---	INTEGRAL P.C.C. CURB	---
⊙	STORM MANHOLE	⊙
⊙	WATER VALVE	⊙
⊙	STORM INTAKES	⊙
⊙	POWER POLE	⊙
⊙	LIGHT POLE	⊙
⊙	SINGLE POLE SIGN	⊙
⊙	GUY ANCHOR	⊙
⊙	JUNCTION BOX	⊙
⊙	FIRE HYDRANT	⊙
▭	BUILDING	▭
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
▭	P.C.C. PAVING	▭
▭	P.C.C. SIDEWALK	▭
▭	A.C.C. PAVING	▭
▭	GAS SERVICE	▭
▭	SANITARY SEWER	▭
▭	PARKING COUNT	▭

Plant Schedule

Code Name	Scientific Name	Common Name	Planting Size	Quantity
AcruRS	Acer rubrum 'Red Sunset'	Red Maple 'Red Sunset'	2 1/2" - Cal B&B	4
FramAP	Fraxinus americana 'Autumn Purple'	'Autumn Purple' White Ash	2 1/2" - Cal B&B	3
GtrS	Gleditsia triacanthos 'Sunburst'	Thornless Common Honeylocust 'Sunburst'	2 1/2" - Cal B&B	2
TrDeTr	Transplanted Deciduous Tree	Transplanted Deciduous Tree	Existing	4
PigiD	Picea glauca 'Densata'	Black Hills Spruce	7' x 6" B&B	14

**CAMPBELL RECREATION AREA
 2006 SITE IMPROVEMENTS**

REVISIONS

REV 1	07/17/06
REV 2	07/27/06

APPROVED
 [Signature]

DRAWN BDH
APPROVED KDW
 ISSUED FOR SITE PLAN SUB.
 DATE 07-03-06
 FIELD BOOK

SHEET NAME
 SITE AND LANDSCAPE PLAN
 (SHEET 1 of 3)

PROJECT NO. 405353-0

SHEET NO.
C100

SHIVE-HATTERY
 Cedar Rapids, IA · Iowa City, IA · Des Moines, IA
 Moline, IL · Bloomington, IL · Chicago, IL
 SHIVE-HATTERY, INC. 1601 48TH ST. SUITE 200 WEST DES MOINES, IOWA 50266
 PHONE (515) 223-8104 FAX (515) 223-0622
 http://www.shive-hattery.com

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- This building is designed in accordance with the following codes and specifications:
 2015 International Building Code (IBC)
 2015 Edition Of "National Design Specifications for Wood Construction"

Risk Category: _____ II
 Use Group(s) Classification: _____ S-1
 Building Use: _____ Storage
 Type of Construction: _____ Type VB
 Addition Building Area: _____ 1584 Sq. Ft.
 Gross Building Area: _____ 7047 Sq. Ft.

Building Design Loads:

Snow Design Data:
 Ground Snow Load (Pg): _____ 30 PSF
 Snow Exposure Factor (Ce): _____ 1
 Slope Factor (Cs): _____ 1
 Thermal Factor (Ct): _____ 1.2
 Snow Load Importance Factor (Is): _____ 1.0
 Flat Roof Snow Load (Pf): _____ 25.2 PSF
 Sloped Roof Snow Load (Ps): _____ 25.2 PSF

Wind Design Data:

Basic Design Wind Speed (V): _____ 115 MPH
 Wind Exposure: _____ C
 Design Internal Pressure Coefficient: _____ ± 0.18

Earthquake Design Data:

Basic Seismic Force Resisting System: _____ Building Frame System/Light Frame Walls Sheathed with Wood Structural Panels or Steel Sheets
 Design Base Shear: _____ 130 LBS
 Seismic Response Coefficient (Cs): _____ 0.012
 Analysis Procedure Used: _____ Equivalent Lateral Force Procedure
 Seismic Design Category: _____ B
 Mapped Spectral Response Accelerations (Ss): _____ 6.5%g
 (S1): _____ 4.6%g
 Spectral Response Coefficients (Sms): _____ 0.069g
 (Sm1): _____ 0.074g
 Site Class: _____ D
 Seismic Importance Factor (Ie): _____ 1.0
 Response Modification Factor (R): _____ 6

- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWWA U1, UC4B.
- All nails are to be threaded hardened steel unless otherwise noted.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
- Electrical work, heating, ventilating, or conditioning, plumbing, and site draining is not a part of this drawing and shall be installed as per applicable codes.
- This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsurface investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

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- 120. FLOOR PLAN
- 125. ROOF FRAMING PLAN
- 130. TYPICAL SECTION
- 140. HEADER DETAILS A
- 141. HEADER DETAILS B
- 142. HEADER DETAILS C
- 150. X-BRACING DETAILS
- 160. DIAPHRAGM ACTION and MISC. DETAILS
- 170. TRUSS DIAGRAMS



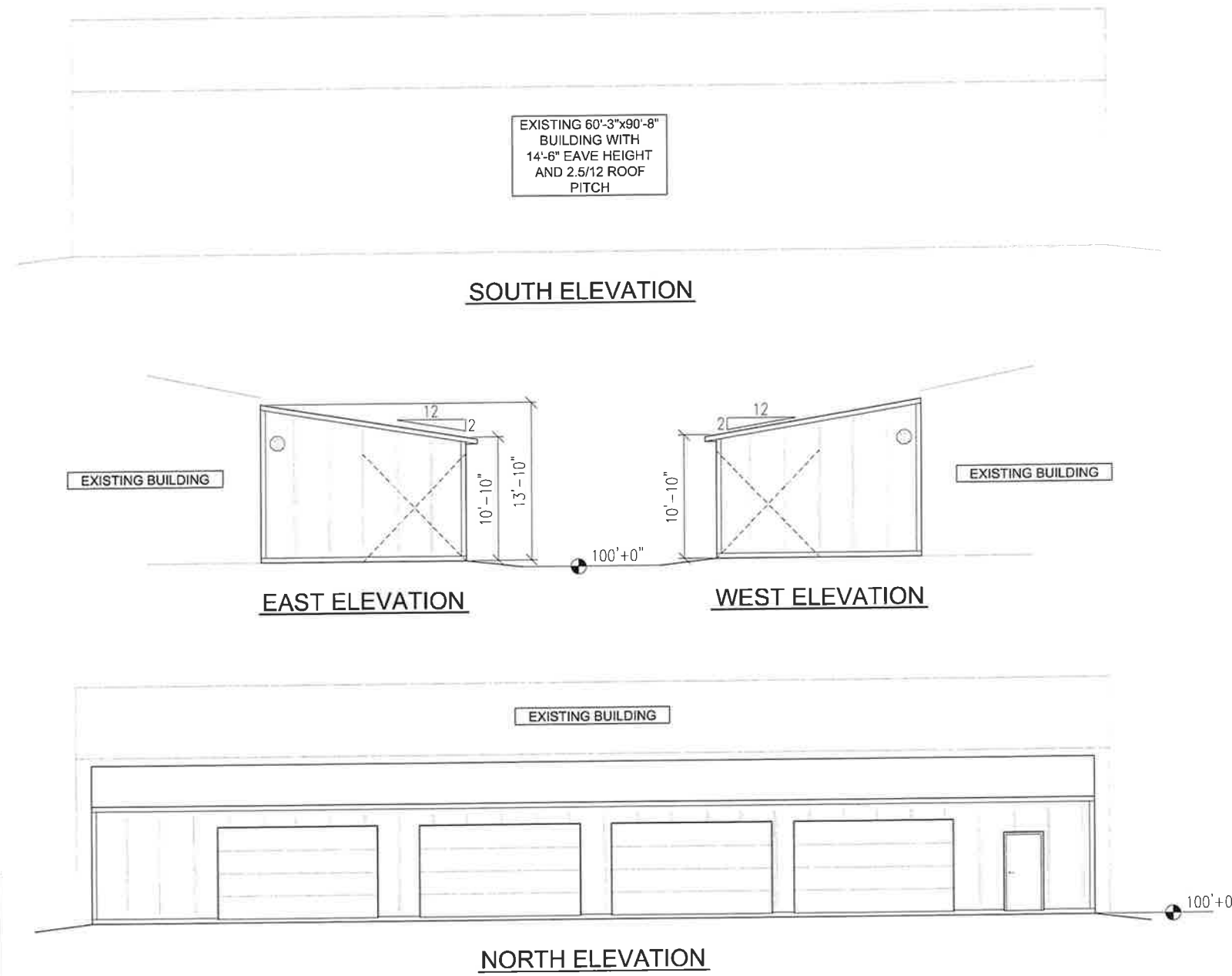
190 PAOLI STREET / P.O. BOX 830220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: LAUREN YORK

DATE DRAWN: 06/19/25

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		



PROJECT NAME:
CITY OF CLIVE
 PROJECT SITE ADDRESS:
 1885 NW 123RD ST
 CLIVE, IA 50325 (POLK)
 BUILDING SIZE:
 18' 0" x 88' 0" x 10' 10"
 SHEET NAME:
 ELEVATIONS

PROJECT NUMBER:
2025102006
 SHEET NUMBER:
110

WHEN PRINTED ON 24"x36"
 PAPER SCALE IS N.T.S.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
 DATE 7/1/2025 BY Matthew B. Lawinger
 License number: 16411
 My license renewal date is December 31, 2025
 Sheets covered by this seal: See table of contents

APPROVED FOR CONSTRUCTION
 DATE _____ BY _____

File Name and Path: \\CLEARY\SHARES\Eng\Commercial\CAD FILES\2025\2025102006\2025102006-120-FP.dwg
 Printed By: Matthew B. Lawinger Date Printed: 7/1/2025 11:51 AM

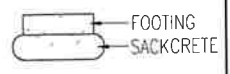
COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) CORNER	3-PLY 2x6x16'-0"	5'-4"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(B) FULL LENGTH	3-PLY 2x6x16'-0"	3'-10"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(C) FULL LENGTH	3-PLY 2x6x16'-0"	5'-4"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(D) DOOR	3-PLY 2x6x16'-0"	5'-4"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	3
(E) DOOR	3-PLY 2x6x16'-0"	5'-11"	18"Ø	9"x18"Ø CONCRETE (SEE NOTE/DETAIL)	5
(F) HEADER POST	4-PLY 2x6x16'-0"	---	---	HEADER POST B.E.=8'+5 1/2"	4

BUILDING ACCESSORY SCHEDULE					
ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES	
1	SOLID WALK DOOR	3' 0"x6' 8"	B.E. =100' 4"	1	R.O. 3' 4 3/8"x6' 9 3/4", STANDARD, BRILLIANT, LEV./LEV. LOCKSET, KEYED ALIKE
2	OVERHEAD DOOR	14' 0"x8' 0"	B.E. =100' 4"	4	I.D. =13' 11 1/2", DOOR BY CLEARY SUB

- NOTES:
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
 - 2x4 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - END WALL 1 ON BUILDING 1 - INSTALL STANDARD 15" SHAMROCK
 - END WALL 2 ON BUILDING 1 - INSTALL STANDARD 15" SHAMROCK

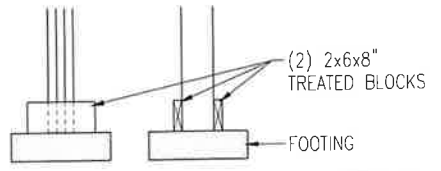


NOTE:
 9"x18"Ø CONCRETE = (2) 60# BAGS OF SACKCRETE PLACED UNDER 4"x14"Ø PRECAST FOOTING AS SHOWN

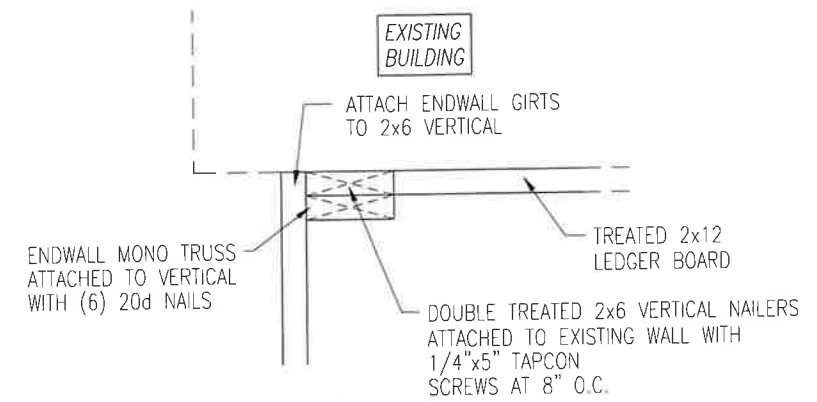


NOTE:
 10 TOTAL BAGS OF SACKCRETE REQUIRED FOR FOOTINGS AND COLUMN ANCHORAGE

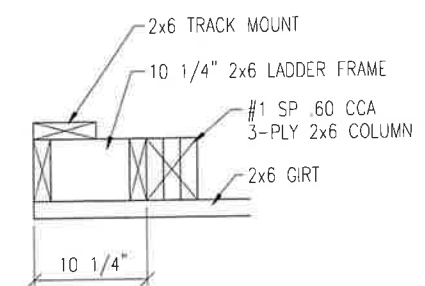
UNLESS OTHERWISE NOTED ANCHOR ALL COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (3) 20d NAILS PER EACH BLOCK FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIRED



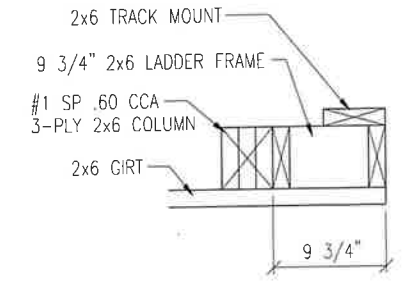
COLUMN ANCHOR DETAIL



CORNER DETAIL

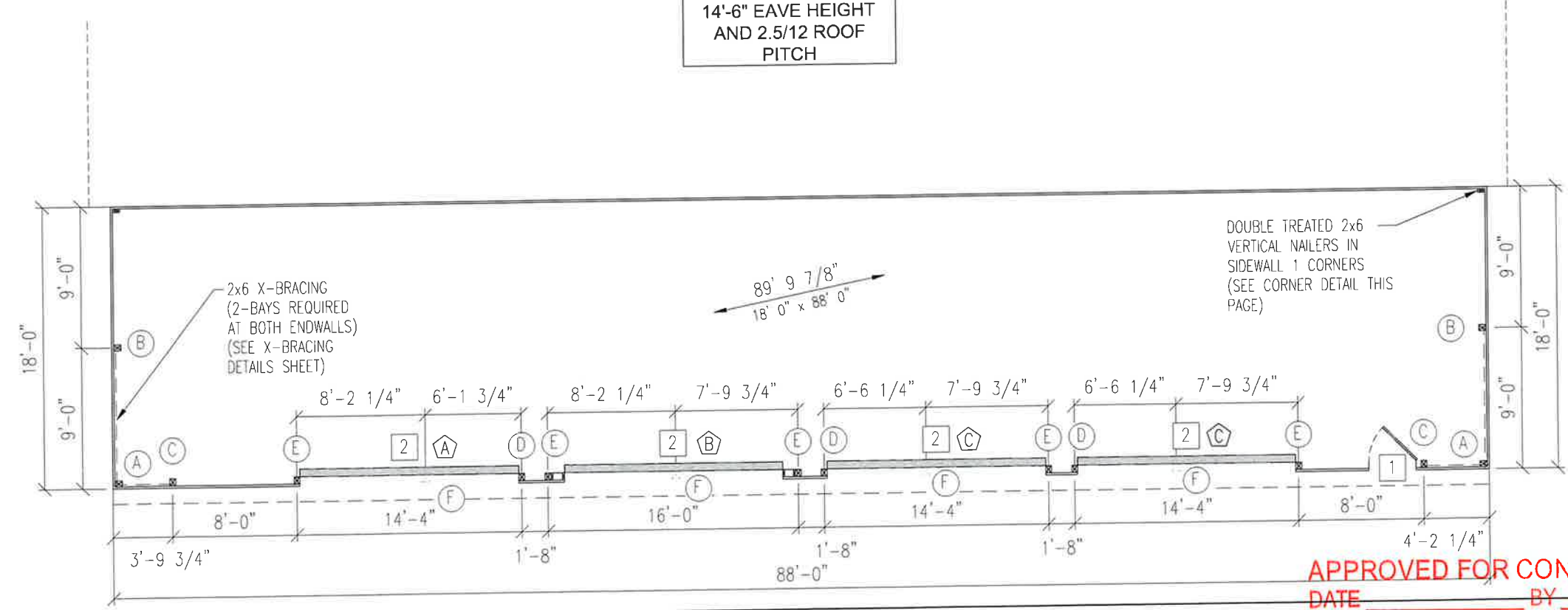


LADDER FRAME DETAIL

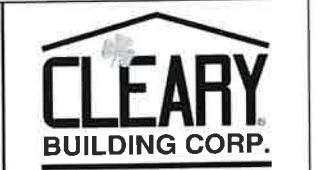


LADDER FRAME DETAIL

EXISTING 60'-3"x90'-8" BUILDING WITH 14'-6" EAVE HEIGHT AND 2.5/12 ROOF PITCH



APPROVED FOR CONSTRUCTION
 DATE _____ BY _____



DRAWN BY: LAUREN YORK
 DATE DRAWN: 06/19/25

PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: CITY OF CLIVE
 PROJECT SITE ADDRESS: 1885 NW 123RD ST CLIVE, IA 50325 (POLK)
 BUILDING SIZE: 18' 0" x 88' 0" x 10' 10"
 SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2025102006
 SHEET NUMBER: 120

WHEN PRINTED ON 24"x36" PAPER SCALE IS 1/4"=1'-0"



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
 Matthew B. Lawinger
 License number: 16411
 My license renewal date is December 31, 2025
 Sheets covered by this set: See table of contents
 7/1/2025



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

4/29/2025
CITY OF CLIVE - PARKS DEPT, ATTENTION JEFF
THIELEN
Doc ID: 6200020250429150332

Cleary/Owner Project Contract - Erected



West End Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes


End Wall 1 on Building 1
Siding: Premium Steel Panel
House Wrap: None
Wainscot: None
Gable Filler Strips: Gable filler strips not included.
Treated Plank Filler Strips: None

Ventilation

End Wall 1 on Building 1
Overhang: None

Accessories

C-500
v12/10

built with pride before the  is applied[®]



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: September 2, 2025

RE: Zoning Ordinance Amendment - Commercial Entertainment Uses

Through efforts to fill vacancies in larger commercial spaces, staff has determined allowing commercial entertainment uses in the C-4 District may be desirable. Simonson Associates on behalf of Ron Daniels of Buyers Realty, reached out to staff to discuss an ordinance change when a leasing opportunity came before them. The Zoning Ordinance defines "Commercial Entertainment" as "an establishment that provides facilities for the physical entertainment of patrons for a fee, including batting cages, billiard parlors, bowling alleys, go-cart racing, ice skating, miniature golf courses." Commercial entertainment uses generally require a larger footprint and are well suited to occupy junior box commercial spaces. Commercial Entertainment uses are currently allowed in the C-1, C-2, C-5, TC-1, TC-3, TC-4, M-1, and M-2 Districts.

As seen in various locations throughout the metro, commercial entertainment uses have seen a resurgence in popularity and increasing demand. For example, The Hansell Group, a bowling and entertainment center brokerage, valuations, and consulting firm, published a 2022 report stating the bowling industry has repositioned itself as part of the entertainment industry by making changes that appeal to both league and casual bowlers, as well as preconfiguring facilities into entertainment centers and upscale lounges which feature a broader range of activities. Several examples of commercial entertainment users located within the metro include Putts & Pins (EP True), Spare Time (Jordan Creek Pkwy), Sky Zone (SE Gateway Dr), and Dinks Pickleball (Merle Hay Rd), among many others.

No public comments have been received. Staff recommends approval of an ordinance amendment allowing commercial entertainment uses in the C-4 District.

If you have questions or need additional information prior to the meeting, contact Amanda at agrutzmacher@cityofclive.com or 515-223-6221.

Attachments:

1. Request for Amendment
2. Ordinance 1166 - Commercial Entertainment Uses

July 21, 2025

Amanda Grutzmacher, Senior Planner
City of Clive
1900 NW 114th Street
Clive, Iowa 50325
515-457-3091
AGrutzmacher@cityofclive.com

SAA# 14090

Re: Request for Zoning Code Amendment
9999 University Avenue – Slick City Action Park

Amanda,

On behalf of Ron Daniels and IHWOP LLC, this letter is to formally request a zoning code amendment to allow the 'Commercial Entertainment' within the C4 zoning district.

The ownership of 9999 University is currently working on a lease with 'Slick City Action Park' to locate in the old JoAnn space at 9999 University and we understand this amendment is required to comply with zoning code. We are excited to welcome this business to the Clive market and we think they are an excellent tenant for this particular retail center. I have attached the 'Slick City Action Park' brand overview to this request for your consideration.

As discussed on the phone, we would like to see this item introduced at the August 7th commission meeting with an anticipated final city council reading on October 9th, 2025.

Please feel free to contact myself, 515-440-5622, or Ron Daniels, 786-514-2655, if we can be of further help during this process.

Thank you for your attention on this matter.



Alan VanGundy, RLA, ASLA

ORDINANCE NO. ____

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CLIVE,
IOWA, 2024, BY AMENDING PROVISIONS OF THE ZONING ORDINANCE
REGARDING COMMERCIAL ENTERTAINMENT USES

Be It Enacted by the City Council of the City of Clive, Iowa:

SECTION 1. INTERNAL REFERENCES. All references to section numbers in this ordinance shall be to sections contained with Title 11 in the Zoning Ordinance, unless otherwise specified.

SECTION 2. AMENDMENT- COMMERCIAL DISTRICTS. In Title 11, Chapter 7 (entitled “Commercial Districts”), Section 11-7-4 (entitled “PRINCIPAL PERMITTED USES”), is hereby deleted and the following inserted in lieu thereof:

Principal permitted uses for commercially zoned property are listed in the following table. Where a use is not expressly listed below, the community development director shall have authority to determine if the use is compatible and consistent with the surrounding environment.

Permitted Uses - Commercial					
Use	C-1	C-2	C-3	C-4	C-5
Auditoriums	P	P		A	
Automobile and truck travel plaza					P
Automobile sales and display		P			
Automobile supply (retail)	P	P		P	
Automotive repair	P	P		P	
Automotive wash	P	P		P	P
Bakeries	P	P		C	
Banks	P	P	P	P	P
Building material sales yard, lumberyard		P			P

Childcare, including daycare	P	P	A	A	
Commercial entertainment	P	P		P	P
Consumer fireworks sales	P	P	P	P	P
Convenience stores/gas stations	P	P		P	P
Dance studio	P	P		P	
Domesticated animal boarding/kennels	P	P		A	
Drinking places	P	P	A	A	
Farm machinery and mobile home sales and repair		P			P
Fitness center	P	P	A	P	
Funeral homes and mortuaries	P	P		P	
Grocery store	P	P		P	
Hair salon	P	P	A	P	P
Hospitals	SP	SP	P		
Hotel, motel or motor lodge	P	P	P	P	
Launderette and similar business using only nonflammable solvents	P	P			P
Laundry, repair, dry cleaning and pick up	P	P	A	P	
Libraries	P	P	P	P	
Medical office, clinic	P	P	P	P	
Millwork		P			
Ministorage		P			
Monument sales and engraving		P			
Movie theater	P	P		P	
Museums	P	P	A	P	
Nurseries and greenhouses	P	P			
Nursing homes	SP	SP			
Photographic studios	P	P		P	
Printing and/or publishing house		P			

Professional offices	P	P	P	P	P
Religious institutions	P	P		SP	
Restaurant, fast food	P	P	P	P	P
Restaurant, fast food drive-through	P	P		P	
Restaurant, full service sit down	P	P	P	P	P
Retail	P	P		P	
Schools, Elementary and Secondary	SP	SP	SP	SP	
Schools, Post-Secondary	P	P	P	P	
Sheet metal shop		P			
Small engine/lawn mower repair shop	P	P			
Storage warehouse, provided no outside storage shall be permitted		P			
Utility substations	SP	SP		SP	SP
Veterinary clinic and hospital	P	P		P	
Key: P = Permitted C = Conditional A = Auxiliary SP = Special Permitted Use					

SECTION 3. REPEALER. All parts of the "CODE OF ORDINANCES OF THE CITY OF CLIVE, IOWA, 2024" in conflict herewith are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision, sentence, clause, phrase or part of this Ordinance shall be judged to be invalid or unconstitutional, such adjudication shall not affect the validity of this Ordinance as a whole or any section, subsection, provision, sentence, clause, phrase or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and notice of its passage is given as provided by law.

PASSED AND APPROVED by the City Council on the ____ day of _____, 2025.

Matthew Graham, City Clerk

John Edwards, Mayor

Ordinance No. _____ authenticated this ____ day of _____, 2025.

Matthew Graham, City Clerk

John Edwards, Mayor

Officially published on the ____ day of _____, 2025.

CERTIFIED BY:

Matthew Graham, City Clerk



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: September 2, 2025

RE: Urban Renewal Plan Amendment

Staff has been working on the 2025 Amendment to the Clive Urban Renewal Area. The purpose of the amendment is to capture the increment created from new development in the area commonly referred to as the 86th Street area and anticipated new development near the intersection of Hickman Road and NW 111th Street. The monies generated will be utilized to support redevelopment efforts. The projects being considered for tax rebate payments are Dehner Distillery, 1480 NW 86th Street, and Fortress Bank, 11140 Hickman Road. Monies may also be used to fund a number of projects, which have been previously outlined within the Urban Renewal Plan, including various street, park, stormwater, and facilities and buildings improvements. The 2025 Amendment also adjusts costs associated with street projects estimated at the time of the 2023 Amendment.

Staff held the required taxing entities consultation meeting on August 27, 2025. There were no attendees at the consultation meeting and no comments have been received.

The Commission is not required to make a recommendation on the Amendment, but the Code of Iowa requires the Commission review and recommends the proposed Urban Renewal Plan is consistent with the City's Comprehensive Plan. Staff recommends the 2025 Urban Renewal Plan Amendment is consistent with the City's adopted Comprehensive Plan. If you have questions or need additional information prior to the meeting, contact Amanda at 515-223-6221 or agrutzmacher@cityofclive.com.

Attachments:

1. Letter to PZ
2. Urban Renewal Plan Amendment

August 14, 2025

To: City of Clive Planning & Zoning Commission

Re: Clive Urban Renewal Area/Urban Renewal Plan Amendment

A public hearing will be held by the City Council on September 11, 2025, on a proposed amendment to the urban renewal plan for the Clive Urban Renewal Area to add the property legally described in the proposed amendment and to approve a new urban renewal project. I have prepared this memorandum to assist the Commission in performing its role in this process.

Section 403.5 of the Code of Iowa requires that, before they hold a public hearing, the City Council must submit a copy of the proposed plan amendment to the Commission, “for review and recommendations as to its conformity with the general plan for the development” of the City. The statute does not require that the Commission hold a hearing on the proposed plan amendment, nor does it require that the Commission take any action to either approve or reject the proposed plan amendment. It directs that the Commission review the plan amendment and comment to the City Council as to whether the plan amendment conforms to, or is consistent with, the City’s Comprehensive Plan. Please complete your review and submit any comments to the City Council by Noon on September 11, 2025.

Please call John Danos or me at (515) 283-1000 if you have questions about the statutory process.

Kind regards,

Amy Bjork

**2025 AMENDMENT
to the
CLIVE URBAN RENEWAL AREA**

The Urban Renewal Plan (the “Plan” or “Urban Renewal Plan”) for the Clive Urban Renewal Area was adopted in 1991 and has been previously amended 18 times. The Urban Renewal Area was originally designated as both an economic development area appropriate for the promotion of commercial and industrial development and an area in which blighted conditions exist that is appropriate for blight remediation activities.

This Amendment expands the Urban Renewal Area to include the property (the “Property”) as defined in Exhibit A. An investigation has been conducted, the results of which indicate that conditions of blight, as described in Section 403.17(5) of the Code of Iowa, exist on the Property as a result of the deterioration of private properties, faulty land use and lot layout conditions, deterioration of site improvements, and deteriorating public infrastructure.

The Urban Renewal Plan is being further amended for the purpose of identifying new urban renewal projects consisting of development agreements that would be financed with incremental property tax revenues.

UPDATE TO DESCRIPTION OF PUBLIC IMPROVEMENT PROJECTS

The Public Improvements listed in the chart below were previously approved in the March 2023 Amendment to the Urban Renewal Plan. The description of the Public Improvements is being updated to reflect an increase in the estimated costs of such Public Improvements that will be funded with TIF Funds:

Project	Estimated Date	Estimated Cost to be Funded by TIF Funds	Rationale
<p>Street Improvements including the following locations:</p> <ul style="list-style-type: none"> • Clark St.: NW 100th St. to NW 114th St. • NW 114th St.: University Ave. to Hickman Rd. • NW 118th St. • NW 142nd St. • University Ave.: I-35/80 to NW 142nd St. • Hickman Rd.: NW 142nd St. to the western City boundary • Alice’s Rd. • Hickman interchange enhancements 	2023-2038	<p>\$38,000,000 (increased from \$20,000,000 as approved in the March 2023 Amendment to the Urban Renewal Plan)</p>	<p>A safe multi-modal transportation system is an important component to a successful economic environment and quality of life factor for communities. Well-designed multi-modal transportation systems are also critical components of providing opportunities for economic development.</p> <p>The City anticipates providing funding to improve auto, bicycle and pedestrian access within the Urban Renewal Area including sidewalks and trails that meet current ADA accessibility standards.</p> <p>Safe and accessible pedestrian paths, sidewalks and trails, can provide a low-cost and healthy transportation choice for employees who work at commercial and industrial facilities within the Urban Renewal Area.</p>

ADDITIONAL URBAN RENEWAL PROJECTS

Fortress Bank Development Agreement. The City proposes to enter into a development agreement with Fortress Bank (the “Developer”), pursuant to which a three-story, 18,000 square foot office and retail bank will be constructed in order to incentivize the redevelopment of the Property. The Development Agreement calls for the City to make incremental property tax rebate payments to the Developer in an amount not to exceed \$1,800,000, subject to annual appropriation by the City Council.

Dehner Distillery Development Agreement. The City proposes to enter into a development agreement with Joe Dehner (the “Developer”), pursuant to which an approximately 20,600

square foot distillery, including distilling, bottling, storage, office, and a tasting room with outdoor patio will be constructed in order to incentivize the redevelopment of the Property. The Development Agreement calls for the City to make incremental property tax rebate payments to the Developer in an amount not to exceed \$1,100,000, subject to annual appropriation by the City Council.

The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Outstanding general obligation debt of the City:	\$49,485,000
Constitutional debt limit of the City:	\$183,519,739
Proposed amount of debt to be incurred with this Amendment:	\$18,000,000

EFFECTIVE PERIOD

This Amendment will become effective upon its adoption by the City Council. Notwithstanding anything to the contrary in the Urban Renewal Plan, any prior amendment, resolution, or document, the Urban Renewal Plan shall remain in effect until terminated by the City Council, and the use of incremental property tax revenues, or the “division of revenue,” as those words are used in Chapter 403 of the *Code of Iowa*, will be consistent with Chapter 403 of the *Code of Iowa*. The division of revenues shall continue on the Area for the maximum period allowed by law.

At the time the original Urban Renewal Area was adopted in 1991, the plan was designated as a mixed economic development and blighted area and therefore the Area is not subject to the statutorily required expiration on the ability to collect incremental taxes set out in the *Code of Iowa* section 403.17(10). The 2013 Amendment, adopted in 2013, removed a self-imposed expiration date and clarified that the division of revenue in the Area is not subject to any sunset. This Amendment makes no change to the effective period of the Area.

At all times, the use of tax increment financing revenues (including the amount of loans, advances, indebtedness or bonds which qualify for payment from the division of revenue provided in Section 403.19 of the *Code of Iowa*) by the City for activities carried out under the Urban Renewal Area shall be limited as deemed appropriate by the City Council and consistent with all applicable provisions of law.

REPEALER

Any parts of the Plan, as previously amended, in conflict with this Amendment are hereby repealed. Except as modified by this Amendment, the provisions of the Clive Urban Renewal Area, as previously amended, are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control.

SEVERABILITY CLAUSE

If any part of this Amendment is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the previously adopted Plan as a whole or the previous amendments to the Plan, or any part of the Plan not determined to be invalid or unconstitutional.

EXHIBIT A
LEGAL DESCRIPTION FOR 2025 URBAN RENEWAL PLAN ADDITION

A PARCEL OF LAND LOCATED IN SECTIONS 34 AND 35, ALL IN TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE 5TH P.M. AND SECTION 3, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5th P.M., CITY OF CLIVE, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 30 OF WALNUT CREEK HEIGHTS; THENCE SOUTH TO THE NORTHWEST CORNER OF LOT 31, WALNUT CREEK HEIGHTS; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 31, 95.00 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 31, 208.3 FEET TO THE SOUTHEAST CORNER OF SAID LOT 31; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 31, 150.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE SOUTH, 80.00 FEET TO A POINT ON THE NORTH LINE OF THE ACQUISITION PLAT SHOWN IN BOOK 13433 PAGE 203; THENCE EAST ALONG SAID NORTH LINE, AND ALONG THE NORTH LINE OF THE ACQUISITION PLAT SHOWN IN BOOK 13405 PAGE 36, TO A NORTHEAST CORNER OF SAID ACQUISITION PLAT, SAID CORNER ALSO BEING A NORTHEAST CORNER OF EUROPEAN FLAVORS PLAT NO.1; THENCE SOUTH, 10.00 FEET TO A POINT ON A NORTH LINE OF EUROPEAN FLAVORS PLAT NO.1; THENCE EAST ALONG SAID NORTH LINE TO THE EASTERLY MOST NORTHEAST CORNER OF EUROPEAN FLAVORS PLAT NO.1; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID EUROPEAN FLAVORS PLAT NO.1 TO THE SOUTHEAST CORNER OF SAID EUROPEAN FLAVORS PLAT NO.1; THENCE CONTINUING SOUTH ALONG THE EASTERLY LINE OF WEST UNIVERSITY PLAZA PLAT 1 TO THE SOUTHEAST CORNER OF WEST UNIVERSITY PLAZA PLAT 1; THENCE N 89°57' W, A DISTANCE OF 28.00 FEET; THENCE S 6°32' W, A DISTANCE OF 60.00 FEET; THENCE S 89°57' E, A DISTANCE OF 28.00 FEET; THENCE S 6°32' W, ALONG A LINE BEING 40.00 FEET WEST OF AND PARALLEL TO THE CENTERLINE OF 73RD STREET, A DISTANCE OF 300.00 FEET, MORE OR LESS, TO THE EASTERNMOST CORNER OF PARCEL A AS SHOWN IN PLAT OF SURVEY FILED IN BOOK 11728 PAGE 658 OF THE POLK COUNTY, IOWA RECORDS; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID PARCEL A TO THE NORTHEASTERLY CORNER OF SAID PARCEL A, SAID POINT ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY; THENCE CONTINUING NORTHWESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID RR CO. TO ITS INTERSECTION WITH THE SOUTH LINE OF SAID SECTION 35, SAID POINT ALSO BEING ON THE CENTERLINE OF UNIVERSITY AVENUE EXTENDED WESTERLY; THENCE WEST TO THE SOUTHWEST CORNER OF SAID SECTION 35; THENCE CONTINUING WEST ALONG THE SOUTH LINE OF SAID SECTION 34 TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 34; THENCE NORTH ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 TO THE SOUTHEAST CORNER OF LOT 66, ARBOR OAKS ESTATES PLAT 5; THENCE CONTINUING NORTHERLY ALONG THE EAST LINE OF SAID ARBOR OAKS ESTATES PLAT 5 AND ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 34 TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY, SAID POINT ALSO BEING THE NORTHWEST CORNER OF OUTLOT "B", CLIVE DEPOT PLAT 1; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE TO THE NORTHEASTERLY CORNER OF OUTLOT "B", CLIVE DEPOT PLAT 1; THENCE

NORTHERLY TO THE NORTH RIGHT-OF-WAY LINE OF HARBACH BOULEVARD AND TO THE SOUTHEAST CORNER OF LOT 17, KASSONS ADDITION TO RAVENWOOD; THENCE NORTHWESTERLY TO A POINT 80.00 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 17; THENCE CONTINUING NORTHWESTERLY ON A LINE PARALLEL TO AND 60.00 FEET NORTHEASTERLY OF THE SOUTHWEST LINE OF LOT 18 OF SAID KASSONS ADDITION TO RAVENWOOD, TO THE SOUTH LINE OF WESTVIEW BEND PLAT 3; THENCE EAST ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF OUTLOT "A" OF SAID WESTVIEW BEND PLAT 3; THENCE NORTH ALONG THE WEST LINE OF SAID OUTLOT "A" AND ALONG THE WEST LINE OF LOT 18 OF WESTVIEW BEND PLAT NO.2 TO THE SOUTH RIGHT-OF-WAY LINE OF ALICE AVENUE; THENCE SOUTHEASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 17 OF SAID WESTVIEW BEND PLAT NO. 2; THENCE NORTHERLY ALONG SAID SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 17 AND CONTINUING NORTH ALONG THE WEST LINE OF SAID LOT 17 TO THE SOUTH LINE OF LOT 41 OF PRIMROSE PARK PLAT 1 REPLAT; THENCE WEST ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF SAID LOT 41 OF PRIMROSE PARK PLAT 1 REPLAT; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 41 TO THE SOUTH RIGHT-OF-WAY LINE OF PRIMROSE LANE; THENCE CONTINUING NORTH TO THE SOUTHWEST CORNER OF LOT 32 OF SAID PRIMROSE PARK PLAT 1 REPLAT; THENCE CONTINUING NORTH ALONG THE WEST LINE OF SAID LOT 32 AND LOT 17 OF SAID PRIMROSE PARK PLAT 1 REPLAT TO THE SOUTH RIGHT-OF-WAY LINE OF FRANKLIN AVENUE; THENCE CONTINUING NORTH TO THE SOUTHWEST CORNER OF LOT 8 OF SAID PRIMROSE PARK PLAT 1 REPLAT; THENCE CONTINUING NORTH ALONG THE WEST LINE OF SAID LOT 8 TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE WEST ALONG THE SOUTH LINE OF LOT 28 OF SUNNY HILLS TO THE SOUTHWEST CORNER OF SAID LOT 28; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 28 TO THE SOUTH RIGHT-OF-WAY LINE OF SUNNY HILL DRIVE; THENCE CONTINUING NORTH TO THE SOUTHWEST CORNER OF LOT 21 OF SAID SUNNY HILLS; THENCE CONTINUING NORTH ALONG THE WEST LINE OF SAID LOT 21 AND LOT 12 OF SAID SUNNY HILLS TO THE SOUTH RIGHT-OF-WAY LINE OF SUMMIT DRIVE; THENCE CONTINUING NORTH TO THE SOUTHWEST CORNER OF LOT 5 OF SAID SUNNY HILLS; THENCE CONTINUING NORTH ALONG THE WEST LINE OF SAID LOT 5 TO THE SOUTH LINE OF LOT 1 OF CLIVE VILLAGE SQUARE PLAT 1; THENCE WEST ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 1 TO THE SOUTH RIGHT-OF-WAY LINE OF HICKMAN ROAD; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF LOT 5 OF RAVENWOOD PLAT 2; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 5 AND THE EAST LINE OF LOT 12 OF RAVENWOOD PLAT 2 TO THE SOUTHEAST CORNER OF SAID LOT 12; THENCE SOUTH TO THE NORTHEAST CORNER OF BLOCK 6 OF RAVENWOOD; THENCE SOUTH ALONG THE EAST LINE OF SAID BLOCK 6 TO THE NORTH RIGHT-OF-WAY LINE OF SAID FRANKLIN AVENUE; THENCE CONTINUING SOUTH TO THE NORTHEAST CORNER OF BLOCK 11 OF RAVENWOOD; THENCE CONTINUING SOUTH ALONG THE EAST LINE OF SAID BLOCK 11 TO THE NORTH RIGHT-OF-WAY LINE OF SAID ALICE AVENUE; THENCE CONTINUING SOUTH TO THE NORTHEAST CORNER OF BLOCK 14 OF RAVENWOOD; THENCE CONTINUING SOUTH ALONG THE EAST LINE OF SAID BLOCK 14 TO THE NORTH RIGHT-OF-WAY LINE OF SAID HARBACH BOULEVARD; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST RIGHT-OF-WAY LINE OF 85TH STREET; THENCE SOUTH ALONG

SAID EXTENSION AND THE WEST RIGHT-OF-WAY LINE TO THE EASTERNMOST SOUTHEAST CORNER OF LOT 1 OF EMERY ADDITION PLAT ONE; THENCE CONTINUING SOUTH ALONG THE SAID WEST RIGHT-OF-WAY LINE EXTENDED TO THE SOUTHERLY RIGHT-OF-WAY LINE OF CLARK STREET; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE EAST RIGHT-OF-WAY LINE OF 84TH STREET; THENCE SOUTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE NORTHWEST CORNER OF LOT 32 OF McKEONS PLACE REPLAT; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 32 TO THE EAST LINE OF THE WEST 160.00 FEET OF LOT 31 OF SAID McKEONS PLACE REPLAT; THENCE NORTH ALONG SAID EAST LINE TO THE NORTH LINE OF SAID LOT 31, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 1 OF McKEONS PLACE PLAT 2; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 1 AND ALONG THE NORTH LINE OF OUTLOT "Z" OF SAID McKEONS PLACE PLAT 2, TO THE WEST LINE OF LOT 6 OF WESTWIND HEIGHTS; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 6 TO THE NORTHEAST CORNER OF LOT 1 OF UNIVERSITY TERRACE; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 1 TO THE NORTH LINE OF THE SOUTH 48.00 FEET OF LOT 43 OF FISCHER ACRES; THENCE EAST ALONG SAID NORTH LINE TO THE WEST RIGHT-OF-WAY LINE OF 81ST STREET; THENCE SOUTHEASTERLY TO THE NORTHWEST CORNER OF LOT 20 OF SAID FISCHER ACRES; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 20 TO THE EAST LINE OF THE WEST HALF OF SAID LOT 20; THENCE SOUTH ALONG SAID EAST LINE TO THE SOUTH LINE OF SAID LOT 20; THENCE EAST ALONG SAID SOUTH LINE AND THE EASTERLY EXTENSION THEREOF TO THE EAST RIGHT-OF-WAY LINE OF 80TH STREET; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE NORTH LINE OF LOT 13 OF SAID FISCHER ACRES; THENCE EAST ALONG SAID NORTH LINE AND THE EASTERLY EXTENSION THEREOF, TO THE WEST LINE OF DRAKE PLAZA; THENCE SOUTH ALONG SAID WEST LINE TO THE SOUTHWEST CORNER OF LOT 8 IN SAID DRAKE PLAZA, AND BEING A POINT ON THE NORTHERLY LINE OF LOT 93 OF WALNUT CREEK HEIGHTS; THENCE EAST ALONG SAID NORTHERLY LINE TO THE EAST LINE OF SAID LOT 93; THENCE SOUTH ALONG SAID EAST LINE TO THE NORTHWEST CORNER OF LOT 7 OF KEATING PLACE; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 7 AND LOT 3 OF SAID KEATING PLACE TO THE WEST LINE OF 78TH STREET; THENCE NORTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE WESTERLY EXTENSION OF THE NORTH LINE OF LOT 42 OF SAID WALNUT CREEK HEIGHTS; THENCE EAST ALONG SAID WESTERLY EXTENSION, AND ALONG SAID NORTH LINE OF LOTS 42 AND 38 OF SAID WALNUT CREEK HEIGHTS TO THE WESTERNMOST CORNER OF LOT 1 OF SERVICEMASTER PLAT 1; THENCE S 89°19'56" E TO THE SOUTHWEST CORNER OF LOT 43 OF WALNUT CREEK HEIGHTS; THENCE CONTINUING EASTERLY TO THE WEST RIGHT-OF-WAY LINE OF 75TH STREET; THENCE SOUTH ALONG SAID WEST LINE TO A POINT OF INTERSECTION WITH THE WESTERN EXTENSION OF THE SOUTH LINE OF LOT 3 IN CHERYL JANE ESTATES; THENCE EAST ALONG SAID WESTERLY EXTENSION OF THE SOUTH LINE AND ALONG SAID SOUTH LINE OF SAID LOT 3 TO THE WEST LINE OF LOT 30 OF SAID WALNUT CREEK HEIGHTS; THENCE NORTH ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF SAID LOT 30; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 30 TO THE POINT OF BEGINNING.

EXCEPT

LOT 1 OF EUROPEAN FLAVORS PLAT NO. 1,

AND EXCEPT

THE WEST 15.50 ACRES OF LOT 45 OF FISCHER ACRES,

AND EXCEPT

THAT PART CONTAINED WITHIN THE 1997 ADDITION TO THE CLIVE URBAN RENEWAL AREA OF THE CITY OF CLIVE, IOWA DESCRIBED AS FOLLOWS:

BEGINNING 561.70 FEET NORTH AND 40.00 FEET WEST OF THE SOUTHEAST CORNER; THENCE NORTHWESTERLY 105.00 FEET; THENCE WESTERLY 299.00 FEET; THENCE SOUTHWESTERLY 169.10 FEET; THENCE NORTHWESTERLY 410.7 FEET; THENCE NORTHEASTERLY 388.40 FEET; THENCE NORTHWESTERLY 157.00 FEET; THENCE SOUTHWESTERLY 220.40 FEET; THENCE WESTERLY 178.30 FEET; THENCE NORTHWESTERLY 249.10 FEET; THENCE NORTHEASTERLY 374.00 FEET; THENCE NORTHWESTERLY 298.40 FEET; THENCE NORTH 290.60 FEET; THENCE SOUTHEASTERLY 931.60 FEET; THENCE SOUTHEAST 93.50 FEET; THENCE SOUTHERLY 137.40 FEET; THENCE SOUTH 497.10 FEET; THENCE SOUTHWESTERLY 228.40 FEET; THENCE EAST 507.10 FEET; THENCE SOUTH 287.30 FEET TO THE POINT OF BEGINNING, LOT 3, OFFICIAL PLAT OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE 5TH P.M.