



CLIVE PLANNING & ZONING COMMISSION

AGENDA, REGULAR MEETING

8800 Hickman Road

July 1, 2025 5:30 PM

This meeting will be conducted in-person in the Public Safety Facility Training Room and virtually via Zoom platform. To participate virtually use the following

link: <https://us06web.zoom.us/j/81194871820>

Call to Order

Roll Call

Approval of Meeting Minutes

1. Approve Meeting Minutes 06/03/2025

Action Items

1. Dehner Distillery - 1480 NW 86th St
 - a. Site Plan
 - b. Final Plat

Presentation

Staff Report

Adjournment

CLIVE PLANNING AND ZONING COMMISSION MEETING MINUTES

Regular Session
June 3, 2025

This meeting was held in the Clive Public Safety Training Room and public access was provided in-person at City Hall and via Zoom. Information on how to access via Zoom was provided on the city's website and on the agenda. The recording of the meeting is available on the city's website at:

https://www.cityofclive.com/connect/boards_and_commissions/planning_and_zoning_commission.php

Call to Order/Roll Call

ALOWITZ CALLED THE MEETING TO ORDER AT 5:30 p.m.

PRESENT: LINDSAY BRANDON, MILLY ORTIZ-PAGAN, MARCIA HUNTER, CHRIS PANZI, JEFFREY ANDERZHON, MICHAEL ALOWITZ
FROM BUILDING CODE APPEALS BOARD: LADONNA GRATIAS AND LINCOLN PEARCE
ABSENT: JULIE CORREA
STAFF: AMANDA GRUTZMACHER, KATHRYN PURVIS, RYAN MAYER

Action Items

1. Approve Meeting Minutes – May 6, 2025

Hunter motioned to approve the May 6, 2025 meeting minutes, seconded by Ortiz.
Roll Call: Ayes: Brandon, Ortiz, Hunter, Panzi, Anderzhon, Alowitz.
Motion carried.

2. Final Plat- Valley Court Plat 3

The Valley Court Plat 3 final plat will create 1 lot approximately 45,223SF in size consistent with the previously approved site plan amendment in order to adjust the east property line to maintain the minimum required parking lot setback. The lot currently houses a building that is under renovation for new tenants. Due to the ongoing bankruptcy proceedings for JoAnn's, the entirety of Lot 1, Valley Court Plat 2 is not included in the final plat; additional platting work may be required with future development activities at 9999 University Avenue.

Hunter motioned to recommend approval of Valley Court Plat 3 Final Plat, seconded by Anderzhon.

Roll Call: Ayes: Brandon, Ortiz, Hunter, Panzi, Anderzhon, Alowitz.
Motion carried.

3. Zoning Ordinance Amendment – Accessory Dwelling Units

Grutzmacher and Mayer presented the following proposal to amend the Zoning Code to allow Accessory Dwelling Units.

Senate File 592 required the city to change the final direction and content of the current ADU program under development, restricting the ability to govern number, size, appearance, owner occupancy, parking, and requiring separate services. Community Development staff of all divisions have worked collaboratively to provide an ordinance that complies with Senate File 592 while maintaining support of property owner investments and enhancements and keeping community character intact. Highlights of the ordinance proposed include:

- Allowance of one ADU per individual lot up to 1000 square feet or 50% of the principal dwelling square footage, whichever is larger
- ADUs shall not have a separate address or water service. A submeter may be used privately, but allocation of services will be on the recipient of the main water bill
- ADUs that are attached/interior to the primary dwelling shall meet all IRC requirements for a two-family dwelling, providing adequate fire protection between units, and allowing occupants separate control of HVAC and other requirements.
- ADUs are not allowed to orient their entry to be visible from the front yard or add to the entry façade of the primary dwelling.
- ADUs that are detached from the primary dwelling are required to be constructed within the normal building setbacks of the property unless they are under 600 square feet in size and comply with all requirements of the Accessory Building Ordinance Section 11-4-7, which provides reduced setbacks in exchange for coordinated exteriors and the smaller size.
- ADUs must contain living space, full sanitary services, permanent cooking facilities, and not have free and open access to the living areas of the primary dwelling. Definitions have been added and updated to further identify separations between what is a residential addition, accessory building, or ADU.

The commissioners present as well as BCAB members, Gratias and Pearce, discussed the proposal ultimately identifying a reduction of cooking surfaces that counted as “permanent”, and a clarification on the terminology utilized when describing the “front yard” as the ordinance currently includes “secondary front yard” language that may be confusing if not defined correctly. “Metered services” were identified as water service only as private utilities will have their own governing requirements. Further specification for the “open accessibility” requested for the final amendment document and definitions.

Hunter motioned to recommend approval of Zoning Ordinance Amendment Regarding Accessory Dwelling Units, seconded by Anderzhon.

Roll Call: Ayes: Brandon, Ortiz, Correa, Hunter, Panzi, Anderzhon, Alowitz.

Motion carried.

Staff Report

Adjournment at 7:25 p.m.



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: July 1, 2025

RE: Dehner Distillery - 1480 NW 86th St

See staff reports under Site Plan and Final Plat subitems.

Attachments:

None



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: July 1, 2025

RE: Site Plan

GENERAL INFORMATION

Applicant: Civil Design Advantage, on behalf of Dehner Distillery

Requested Action: Site Plan Approval

Location: 1480 NW 86th St

LAND USES & ZONING			
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Vacant	Mixed Use	TC-4, FF Flood Fringe, FW Floodway
North	Commercial - Retail/Services	Mixed Use	TC-4, FF Flood Fringe
East	Utility	Mixed Use	TC-4, FF Flood Fringe, FW Floodway
South	Commercial - Retail/Services	Open Space	FW Floodway
West	Open Space	Open Space	FW Floodway

CASE HISTORY - 1480 NW 86th Street

1981 - Site Plan approved for new Burger King restaurant

1983 - Site Plan Amendment approved for parking expansion

1985 - Site Plan Amendment approved for greenhouse dining addition

1986 - Site Plan Amendment approved for building addition, parking expansion

1987 - Variance granted to reduce front setback from 50' to 46'

2000 - Porky's Diner as new occupant

2002 - Flashbacks Lounge as new occupant

2002 - Site Plan Amendment approved for exterior modifications

2003 - Demolition of building and site improvements

BACKGROUND

Dehner Distillery is a local Clive business established by Joseph Dehner in 2012. Since its establishment, Dehner Distillery has been located at 7500 University Avenue and offers finishing and bottling services. Over the years, Dehner Distillery has expanded into additional tenant spaces at 7500 University, but has never had a space that allowed for the general public to visit the distillery or to be direct customers of Dehner Distillery. The applicant has a desire to construct a larger building that will allow for additional capacity to expand their contract bottling sales and production, as well as to provide opportunity for a public tasting room and retail sales.

The subject property is located in the TC-4 South End Development Area / Entertainment Development Area. The distillery use requires space dedicated to warehousing and distribution in addition to the office, retail, and tasting room uses. Distilleries and breweries are unique from many other land uses in that they are both an entertainment draw and a manufacturing use, but the manufacturing is what creates the entertainment component and draws the public to the facility. Staff desired clarity from City Council on whether the warehousing and distribution components of the distillery were consistent with their long-term vision for the Town Center Zoning Districts and 86th Street Neighborhoods. In December 2023, staff presented the potential distillery development to City Council and discussed the land use; Council was supportive of the distillery land use as being appropriate in, and consistent with, the TC-4 South End Development Area / Entertainment Development District. Though the dedicated space is substantial, the manufacturing, warehousing, and distribution uses are accessory to the retail, office, and drinking establishment uses of a distillery which are permitted uses within the TC-4 District.

ANALYSIS

Building Design & Site Lighting

The proposed building is 20,060 square feet, including a tasting room, office, storage, and the distillery and bottling areas. An additional 730 square feet of outdoor patio space is proposed on the west side of the building, adjacent to the Greenbelt Park. The finished floor elevation of the building is proposed at 843.00, which complies with development requirements in the floodplain and allows for storage of regulated materials above the 500-year floodplain. The existing site is approximately 840.00 where the building will be located.

The building features a traditional historic brick warehouse style. The public entrance to the building is located on the southwest corner. No entrance on the NW 86th Street facade is a deviation from the 86th Street Design Guidelines; however, staff have had various discussions with the applicant regarding the tank farm proximity, truck needs, and Greenbelt adjacency and connectivity. Due to these unique considerations for this property in the TC-4 District compared to the majority of other properties in the District, staff believes the intent of the standards as it applies to the entrance requirements is being met and a strong connection to the Greenbelt Park and Trail is an important component of projects in the TC-4 District.

The proposed architectural elevations are not in keeping with the NW 86th Street Design Guidelines for building materials. The NW 86th St. Design Guidelines require 70% non-glazed area to be brick or stone. Split face CMU, stucco, or EFIS can be used

for up to 15% of the 70% brick or stone requirement. Metal panels are only allowed as an accent/trim material (not to exceed 15%).

The primary facade on NW 86th Street is 87% brick and 13% stucco panel.

Approximately 60 feet of the north facade is finished with brick and the remainder is proposed as an exposed fastener metal panel.

The south facade is finished with brick and stucco materials, with the stucco panels making up the top 11' of the facade and continuing the material change from the front/east facade; past the brick the remainder of the south facade is an architectural metal panel with concealed fasteners. The south facade also includes overhead doors to accommodate standard 53' trailer semi-trucks. A small portion of the south facade near the outdoor patio and the public entrance includes exposed fastener metal panels.

The west facade incorporates both the architectural metal panels and the exposed fastener metal panels. The architectural metal panels are located above the patio roof. The exposed fastener metal panels are located along the outdoor patio.

The applicant made significant changes to the architectural elevations after initial staff review to add additional detailing such as soldier coursing and quoins on the corners, awnings, decorative lights, and modified window sizes and placement. The applicant has submitted a letter requesting approval of the elevations as proposed with details as to why they believe the design is in keeping with the overall intent of the 86th Street Design Guidelines. Particularly related to the west facade, the letter states that the west side is,

dominated by the patio canopy and railings, and a steel entrance canopy, [with] traditional wall panels below the canopy where they are shielded somewhat from view. This is an aesthetic choice for the look of the tasting room and patio. Above the canopy, where the wall is more visible, we are showing the smooth metal panels with concealed fasteners.

As it relates to the north facade, the letter states:

The existing neighboring building is mostly clad in CMU and corrugated metal on that side. The area of our wall that will be screened by that building is shown with traditional metal panels with exposed fasteners that will be color matched to the panels. This area will only be visible if a person were to walk between the buildings through the drainage swale.

Staff advises that any deviation from the permitted materials in the 86th Street Design Guidelines sets a precedent for future projects along the corridor. Architectural metal panels are an allowed exterior material in all other commercial zoning districts within the City; however, exposed fastener metal panels are identified as a trim/accent material only within the Development Standards Manual. The 86th Street corridor is largely identified as underutilized properties with redevelopment potential, including the neighboring building to the north. Today the view of exposed metal fastener panels is largely obscured; however, few of the properties within the corridor have redeveloped to date and with future redevelopment views of the proposed building are likely to change. If the Commission is amenable to allowing architectural metal panels on the less

prominent facades of the building, staff recommends that the exposed fastener metal panels be changed to architectural metal panels for consistency with the Development Standards Manual.

In conjunction with the site redevelopment, decorative streetlights will be installed along NW 86th Street as a public improvement. Lighting internal to the site is generally in compliance with the lighting standards in the Development Standards Manual.

Site Layout & Circulation

The subject site currently has two driveway access to NW 86th Street. Consistent with the 86th Street Design Guidelines, those accesses will be removed and replaced with curb and gutter. Limited accesses on NW 86th Street reduces conflict points and creates a safer environment for pedestrians, cyclists, and drivers. Access to the redeveloped site will be from the existing public "alley" access to the public park, which also provides the access to Car-X on the adjacent property to the south. The driveway entrances to the site are large compared to other connections in the immediate area; however, the entrances have been designed to the minimum necessary to support the necessary vehicle circulation on-site associated with the distribution of finished product and receiving deliveries.

Sidewalk along NW 86th Street will be reconstructed consistent with the 86th Street Design Guidelines and the sidewalk, ramp, and landing area on the adjacent Car-X property. A sidewalk connection is provided from NW 86th Street; however, staff anticipates most pedestrian and bicycle traffic will approach from the Greenbelt Trail or the parking lot. The connection from 86th Street requires people to cross the loading and delivery area; however, deliveries will not generally take place during public hours.

The developer proposes to create a connection to the Greenbelt Trail into the site. Bike parking is shown in a dedicated area which will limit bicycles blocking the trail connection and internal sidewalks. Due to grade changes on the site to comply with floodplain development requirements, the internal sidewalks to the building have stairs on a direct route and an accessible switchback-style ramp. An easement will be granted from the City to allow for the trail connection.

Landscaping & Stormwater Management

The proposed landscaping complies with the zoning ordinance and 86th Street Design Guidelines. The 86th Street property line will be planted with 4 overstory trees in front of the parking lot and smaller plantings along the building facade. There are trees proposed in the parking lot islands and near the outdoor patio. Currently, the site plan identifies two underground chambers with Isolator rows and two bioretention areas to be planted with native grasses and wildflowers. These bioretention areas are proposed to outlet into the city-owned alley property. The site plan requires modification to tie ST-3 to ST-5 and eliminate L-2 and ST-1, or an alternative design proposed by the developer that results in only one discharge on city property. The City will need to grant an easement to allow for the private storm sewer discharge.

The City is currently working on an update to the Post-Construction Stormwater Management Manual, and through that process has identified the need for an alternative option for stormwater management compliance for properties located in the

floodplain. Staff has prepared the Floodplain Stormwater Management Fee In-Lieu program to be considered by City Council and incorporated into the updated stormwater manual. As currently drafted, the policy states, at the preference of the landowner, the required detention components associated with the channel protection volume (CPv), overbank protection for the 2- through 5-year storm (Qp), and extreme flood protection for the 10- through 100-year storms (Qr) may be accounted for in an off-site facility operated by the City. The property owner must address recharge volume (Rev) and water quality volume (WQv) stormwater treatment on-site. In the proposed policy, the fee in-lieu calculation takes into consideration construction, land value, long-term maintenance, survey and design, and contingency costs. Creation of the Floodplain Stormwater Management Fee In-Lieu program will obligate the City to manage the detention-related obligations in an off-site facility. The proposed fee in-lieu program is similar to previous City efforts to create regionalized detention which developers pay a defined cost at the time of development to reimburse the City for the costs of construction of the regional facilities. The difference with the proposed program is the City does not currently have a facility already constructed.

Staff has recently proposed a potential neighborhood scale solution to address WQv to the developer. Staff proposed a site-specific agreement where the applicant would install an over-sized separator (Contech CDS or similar) for 80% total suspended solids and floatables removal. The configuration would be sized to allow the City to divert low flows ("first flush") from NW 86th Street into the separator. The proposed project in-lieu would allow for elimination of the proposed WQv facilities, including the chambers and isolator rows, as well as the pipe discharge into the City property. Staff thought this may be a preferred option given the long-term maintenance requirements for the proposed on-site systems. If the developer is interested in this partnership, some site redesign to adjust grading and surface flows will be required. Staff does not anticipate the site redesign to have a significant impact on the overall project layout; drainage for the parking lot would need to be adjusted to flow to the southeast corner of the property. The stormwater management as currently designed, aside from relatively minor comments to be addressed, is in compliance with WQv and this alternative neighborhood scale solution is not required. If the developer desires to enter into such an agreement with the City, staff recommends administrative approval of site plan modifications unless it is determined there is a significant change to the site layout and design that requires the Commission to reconsider the site plan.

Utilities

The site is bisected by a large trunk sanitary sewer. In the future, the City anticipates this trunk sewer will be eliminated and tie in to the future WRA trunk sewer; however, at this time the sewer cannot be abandoned and the site must be designed around the facility. The WRA trunk sewer project will be constructed within the adjacent city park property in the next few years and have some impacts to the subject property during construction; necessary easements will be acquired by the WRA. When the existing city sanitary sewer is abandoned, it will not require removal of the pipe.

Sanitary sewer service for the subject property will connect to the existing sanitary main along NW 86th Street. Water service will be provided from the existing water main in the adjacent City park property.

PUBLIC COMMENT

Notice was sent to the surrounding property owners within 310-feet of the subject site on May 23, 2025. To date, staff has received general inquiries, but nothing in writing has been submitted.

STAFF RECOMMENDATION

Staff recommends approval subject to resolution of all of the items outlined in the staff comment letter originally dated January 31, 2025, and most recently revised on June 27, 2025. Staff also recommends the Commission is specific on what exterior materials they desire to approve within the 86th Street Design Guidelines; if architectural metal panels are acceptable, staff recommends the exposed fastener metal panels, specifically on the north facade, be changed to architectural metal panels for consistency with the Development Standards Manual. Depending on Planning and Zoning Commission's decision regarding metal panels within the 86th Street Design Guidelines, staff will ask Council if they desire to have an amendment to the Guidelines brought forward for approval.

Attachments:

1. Site Plan Application
2. Notice letter and mail list
3. Site Plan
4. Photometric Plan
5. Architectural Elevations
6. Letter re: architectural elevations design



City of Clive

1900 NW 114th Street

Clive, IA 50325-7077

Phone (515) 223-6221

www.cityofclive.com

APPLICATION FOR DEVELOPMENT REVIEW

PERMIT

STP25-000001 Site Plan

PROJECT LOCATION

1480 NW 86th Street

PROJECT DESCRIPTION

a distillery, featuring finishing, bottling,
packaging, distributing, and a tasting room with
outdoor patio

APPLICANT

Keith Weggen
4121 NW Urbandale Drive
Urbandale, IA 50322
(515) 369-4400
KeithW@cda-eng.com

DEVELOPER

Joseph Dehner
7500 University Ave, Ste. E
Clive, IA 50325
(515) 559-4879
joseph@dehnerdistillery.com

LANDSCAPE ARCHITECT

Civil Design Advantage
Keith Weggen
4121 NW Urbandale Drive
Urbandale, IA 50322
(515) 369-4400
KeithW@cda-eng.com

APPLICATION DATE

01/16/2025

PROJECT NAME

Dehner Distillery

PROPERTY OWNER

Joseph Dehner
7500 University Ave, Ste. E
Clive, IA 50325
(515) 559-4879
joseph@dehnerdistillery.com

PROJECT MANAGER

Civil Design Advantage
Keith Weggen
4121 NW Urbandale Drive
Urbandale, IA 50322
(515) 369-4400
KeithW@cda-eng.com

ARCHITECT

Rains Architecture
Jeff Rains
8797 NW 54th Avenue, Ste 300
Johnston, IA 50131
(515) 314-8696
jeff@rainsarch.com

MEETING DATES

PLANNING & ZONING COMMISSION

07/01/2025

CITY COUNCIL

07/24/2025



May 23, 2025

Re: 1480 NW 86th ST - Dehner Distillery

Dear Property Owner:

Keith Weggen has submitted a Site Plan to the City of Clive to allow for construction of a distillery featuring finishing, bottling, packaging, distributing, and a tasting room with outdoor patio located at 1480 NW 86th Street.

The Clive Planning and Zoning Commission will tentatively receive public input on this application during their meeting at 5:30 p.m., Jun 03, 2025. You may attend this meeting in person in the Public Safety Facility Training Room, 8800 Hickman Road, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. Meeting agendas are available on the City's website at http://www.cityofclive.com/connect/boards_and_commissions/

As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by virtually attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Clive, City Planner, 1900 NW 114th Street, Clive, IA 50325 or by email at the address below.

Following the Planning and Zoning Commission's review and recommendation, the City Council will make a determination on this application. The public meeting has been tentatively scheduled for 6:00 p.m., on Jun 26, 2025, also to be hosted in person at the above address and virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. City Council meeting agendas are available on the City's website at http://www.cityofclive.com/connect/city_council/

If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council's meeting. If you have any questions concerning this application or if you would like additional information, please call the Community Development Department at (515) 223-6221.

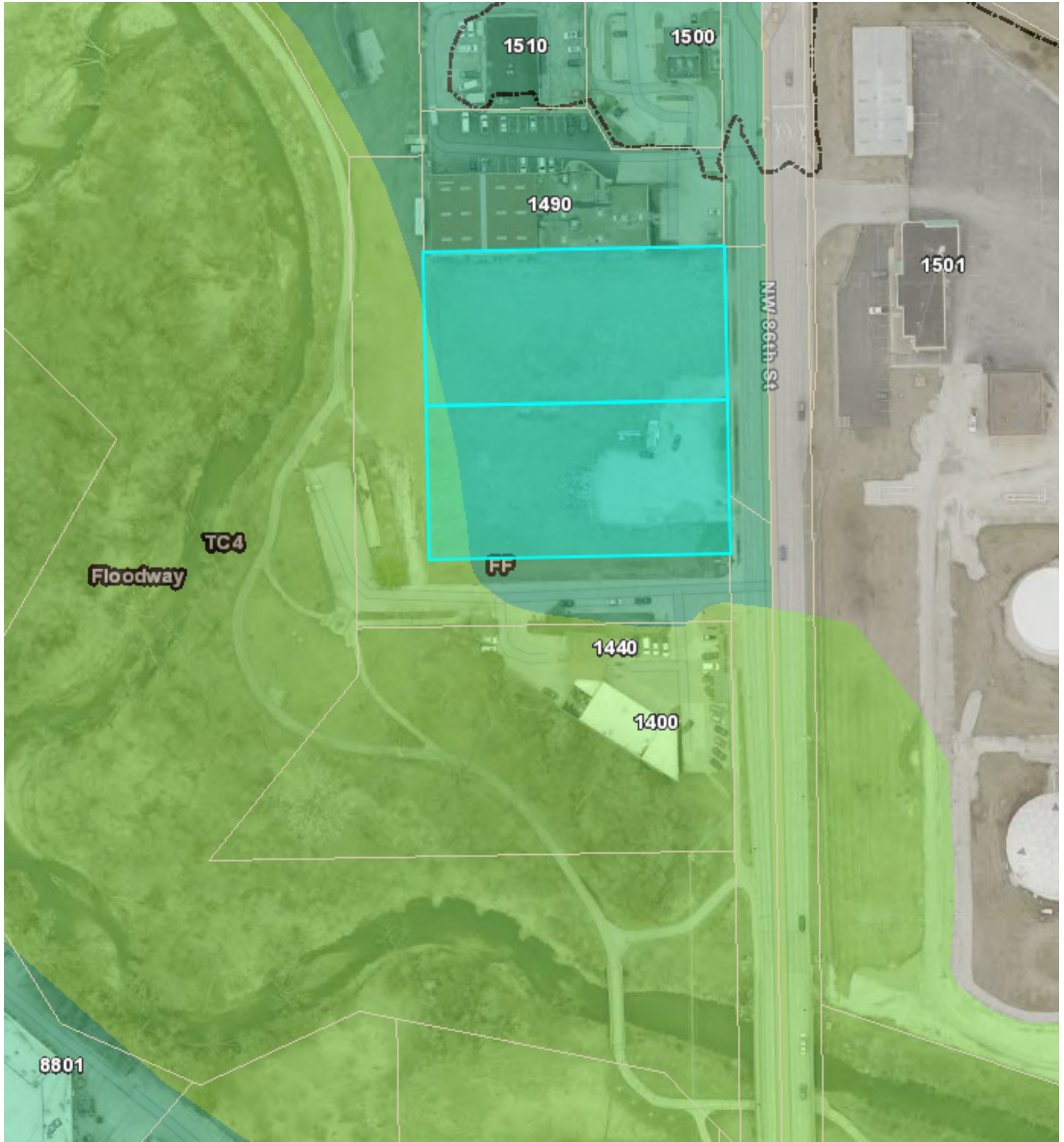
Sincerely,

A handwritten signature in dark ink that reads "Amanda Grutzmacher". Below the signature is a small, faint rectangular stamp.

Amanda Grutzmacher

AGRUTZMACHER@CITYOFCLIVE.COM

LOCATION MAP



DEHNER, JOE
3200 VINE ST
WEST DES MOINES, IA 50265-3249

SPUZELLO, EDWARD J
1855 NW 126TH CT
CLIVE, IA 50325-7402

DONLIN INVESTING LLC
1492 NW 86TH ST
CLIVE, IA 50325-1016

1500 CLIVE LLC
2222 GRAND AVE
DES MOINES, IA 50312-5339

EDWARD J SPUZELLO TRUST
1855 NW 126TH CT
CLIVE, IA 50325-7402

HARLE PROPERTIES
1510 NW 86TH ST
CLIVE, IA 50325-1034

PERPETUAL LLC
6920 POINTE INVERNESS WAY STE 301
FORT WAYNE, IN 46804-7926

BUCKEYE TERMINALS LLC
PO BOX 56169
HOUSTON, TX 77256-6169

THE RACK BILLIARDS CLUB LLC
8801 UNIVERSITY AVE
CLIVE, IA 50325-6247

KNAPP PROPERTIES
5000 WESTOWN PKWY STE 400
WEST DES MOINES, IA 50266-5921

CITY OF CLIVE
1900 NW 114TH ST
CLIVE, IA 50325-7077

SITE PLAN AND PRELIMINARY PLAT FOR:
DEHNER DISTILLERY

PLAT 1
1480 NW 86TH STREET, CLIVE, IA

VICINITY MAP
NOT TO SCALE



CLIVE, IOWA

OWNER / APPLICANT

DEHNER DISTILLERY
7500 UNIVERSITY AVE, SUITE E
CLIVE, IA 50325
CONTACT: JOSEPH DEHNER
EMAIL: JOSEPH@DEHNERDISTILLERY.COM
PH: (515) 559-4879

ENGINEER/SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: KEITH WEGGEN
EMAIL: KEITHW@CDA-ENG.COM
PH: (515) 369-4400

ARCHITECT

RAINS ARCHITECTURE
8797 NW 54TH AVE, SUITE 300
JOHNSTON, IA 50131
CONTACT: JEFF RAINS
EMAIL: JEFF@RAINSARCH.COM
PH: (515) 314-8696

BENCHMARKS

ARROW HEAD ON HYDRANT IN THE EAST ROW OF 86TH STREET ACROSS THE STREET FROM SITE:
ELEVATION = 838.90

CLIVE BM#5: SW QUAD 86TH @ ALICES:
ELEVATION = 886.02

DATE OF SURVEY

MARCH 11, 2024

SUBMITTAL DATES

REVIEW SET: 09/27/2024
SUBMITTAL #1: 01/17/2025
SUBMITTAL #2: 02/07/2025
SUBMITTAL #3: 03/28/2025
SUBMITTAL #4: 05/27/2025
SUBMITTAL #5: 06/12/2025

ZONING

TC4 (TOWN CENTER-SOUTH END DEVELOPMENT AREA)
FLOODWAY OVERLAY DISTRICT - FW
FLOODWAY FRINGE OVERLAY DISTRICT - FF

FEMA INFORMATION:

PANEL NUMBER: 1915300326F
EFFECTIVE DATE: FEBRUARY 1, 2019
DESIGNATION: ZONE AE
LOT GFE: 841.54

DEVELOPMENT SUMMARY

SITE AREA: 85,325 SF (1.959 ACRES)

ZONING: TC4 (TOWN CENTER-SOUTH END DEVELOPMENT AREA)

SETBACKS
FRONT YARD: 0 FEET MIN - 15 FEET MAX
SIDE YARD: 12.5 FEET
REAR YARD: 35 FEET
FIRE CODE BUILDING SEPARATION: 20 FEET

BUILDING AREAS
TASTING ROOM (ASSEMBLY GROUP A-2) 1,575 SF
OUTDOOR PATIO (ASSEMBLY GROUP A-2) 730 SF
OFFICE (BUSINESS GROUP B-1) 770 SF
DISTILLERY AND BOTTLING (FACTORY GROUP F-1) 3,540 SF
STORAGE (STORAGE GROUP S-1) 14,175 SF
20,790 SF

PATIO 730 SF

NUMBER OF EMPLOYEES: 2 EMPLOYEES

PARKING REQUIREMENTS
TASTING ROOM,
DRINKING ESTABLISHMENTS/LOUNGE (1,200 SF) 24 SPACES
20 SPACES/ 1,000 GFA: 2 SPACES
2 EMPLOYEES:
PATIO AREA (730 SF) 8 SPACES
10 SPACES/ 1,000 SF OF OUTDOOR AREA
OFFICE (2,920 SF) 9 SPACES
3 SPACES/ 1,000 SF OF GFA:
STORAGE/BOTTLING/DISTILLERY (14,500 SF) 15 SPACES
1 SPACE/ 1,000 SF OF GFA: 58 SPACES

PARKING PROVIDED
STANDARD 51 SPACES
TRUCK PARKING 3 SPACES
OFF-SITE(FUTURE) 10 SPACES
ADA: 3 SPACES
67 SPACES

INDEX OF SHEETS

NO.	DESCRIPTION	COVER SHEET
C0.1	COVER SHEET	
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN	
C2.1	DIMENSION PLAN	
C3.1	GRADING PLAN	
C3.2	EROSION AND SEDIMENT CONTROL PLAN	
C4.1	UTILITY PLAN	
C5.1-C5.4	DETAILS	
L1.1	LANDSCAPE PLAN	

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SECTION CORNER AS NOTED
SECTION LINE	1/2" REBAR, YELLOW CAP #15980 (UNLESS OTHERWISE NOTED)
CENTER LINE	PLATTED BEARING & DISTANCE
RIGHT OF WAY	MEASURED BEARING & DISTANCE
BUILDING SETBACK	RECORDED BEARING & DISTANCE
PERMANENT EASEMENT	DEEDED BEARING & DISTANCE
TEMPORARY EASEMENT	MINIMUM PROTECTION ELEVATION
TYPE SW-501 STORM INTAKE	PUBLIC UTILITY EASEMENT
TYPE SW-502 STORM INTAKE	CENTERLINE
TYPE SW-503 STORM INTAKE	SECTION LINE
TYPE SW-505 STORM INTAKE	EASEMENT LINE
TYPE SW-506 STORM INTAKE	TELEPHONE LINE
TYPE SW-512 STORM INTAKE	CABLE TELEVISION LINE
TYPE SW-513 STORM INTAKE	FIBER OPTICS LINE
TYPE SW-401 STORM MANHOLE	WATERMAIN
TYPE SW-402 STORM MANHOLE	STORM SEWER
FLARED END SECTION	SANITARY SEWER
TYPE SW-301 SANITARY MANHOLE	WOOD FENCE
STORM/SANITARY CLEANOUT	FIELD FENCE
WATER VALVE	GAS LINE
FIRE HYDRANT ASSEMBLY	ELECTRIC LINE
SIGN	OVERHEAD ELECTRIC LINE
DETECTABLE WARNING PANEL	GAS MANHOLE
WATER CURB STOP	MONITORING WELLS
SANITARY SEWER	FLARED END SECTION
SANITARY SERVICE	TRAFFIC SIGNAL CONTROL
STORM SEWER	CLEANOUT
STORM SERVICE	GAS APPARATUS
WATERMAIN WITH SIZE	AIR CONDITIONER
WATER SERVICE	TELEPHONE PEDESTAL
SAWCUT (FULL DEPTH)	WATER VALVE
SILT FENCE	FIRE HYDRANT
USE AS CONSTRUCTED	ELECTRIC TRANSFORMER
MINIMUM PROTECTION ELEVATION	ELECTRIC METER BOARD
	MAIL BOX
	SIGN
	POWER POLE
	TELEVISION PEDESTAL
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	ROUND STORM SEWER INTAKE
	STORM SEWER INTAKE
	FLAG POLE
	SPRINKLER BOX
	BUSH
	CONIFEROUS TREE
	DECIDUOUS TREE
	STREET LIGHT
	OVERHEAD LIGHT
	HANDICAPPED PARKING
	ROOF DRAIN
	TRAFFIC LIGHT
	SEPTIC TANK
	YARD LIGHT



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF CLIVE GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

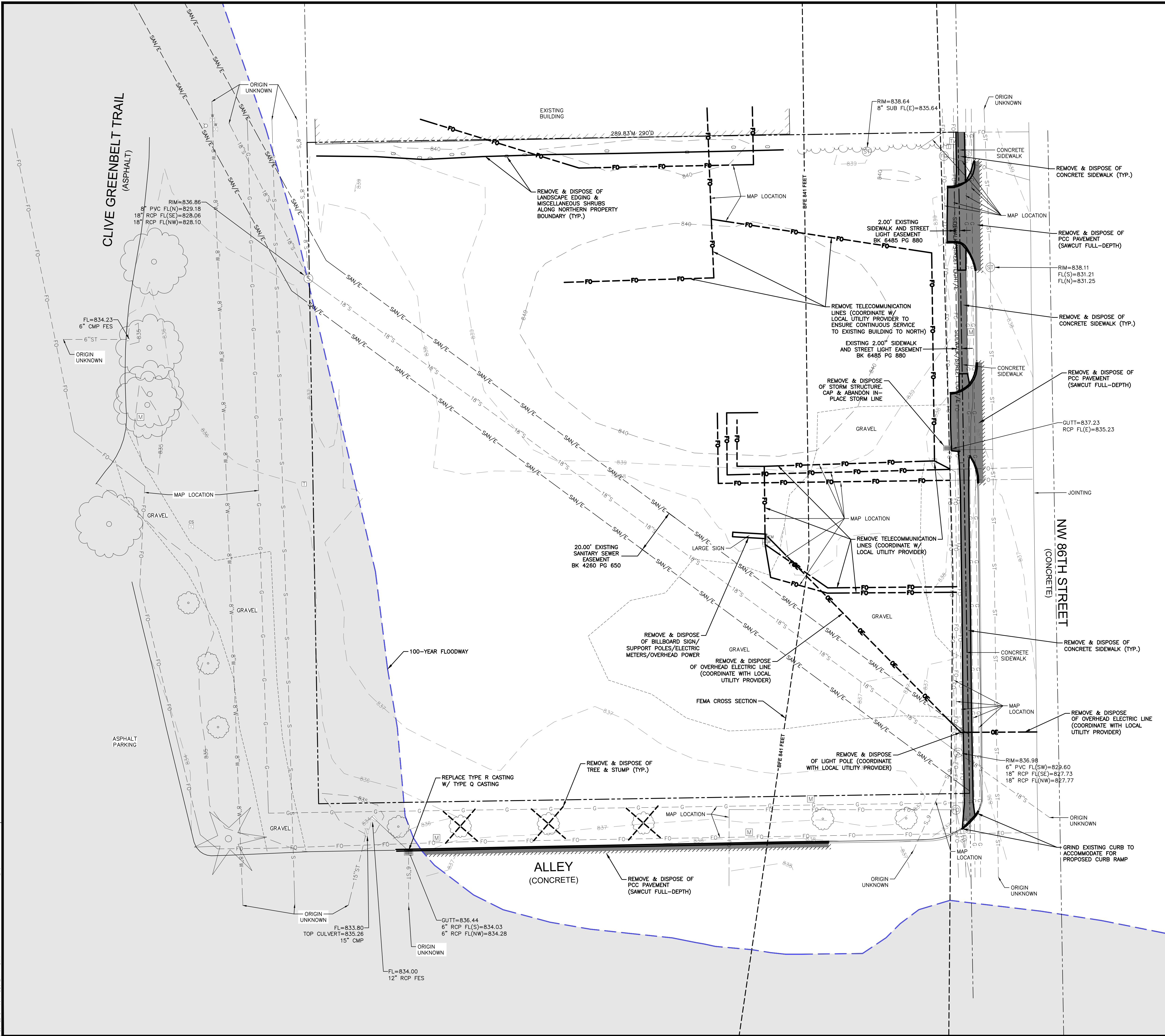
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.
	DATE: 06/12/2025 SHEET NUMBER: C0.1 2310.697

FILE: J:\2025\210697\DWG\210697.dwg
FILE DATE: 6/17/2025
PLOTTED BY: JOHN BECKER
TECH: ENG

COMMENT:
ENG

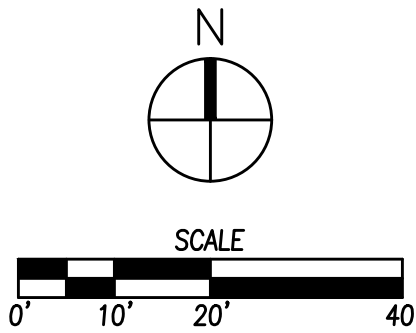


GENERAL NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY OF CLIVE
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
8. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
10. REMOVAL OF EXISTING PAVEMENT SHALL BE TO NEAREST EXISTING JOINT.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



DATE

REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:
CIVIL DESIGN ADVANTAGE

DEHNER DISTILLERY
TOPOGRAPHIC SURVEY & DEMOLITION PLAN
CLIVE, IOWA

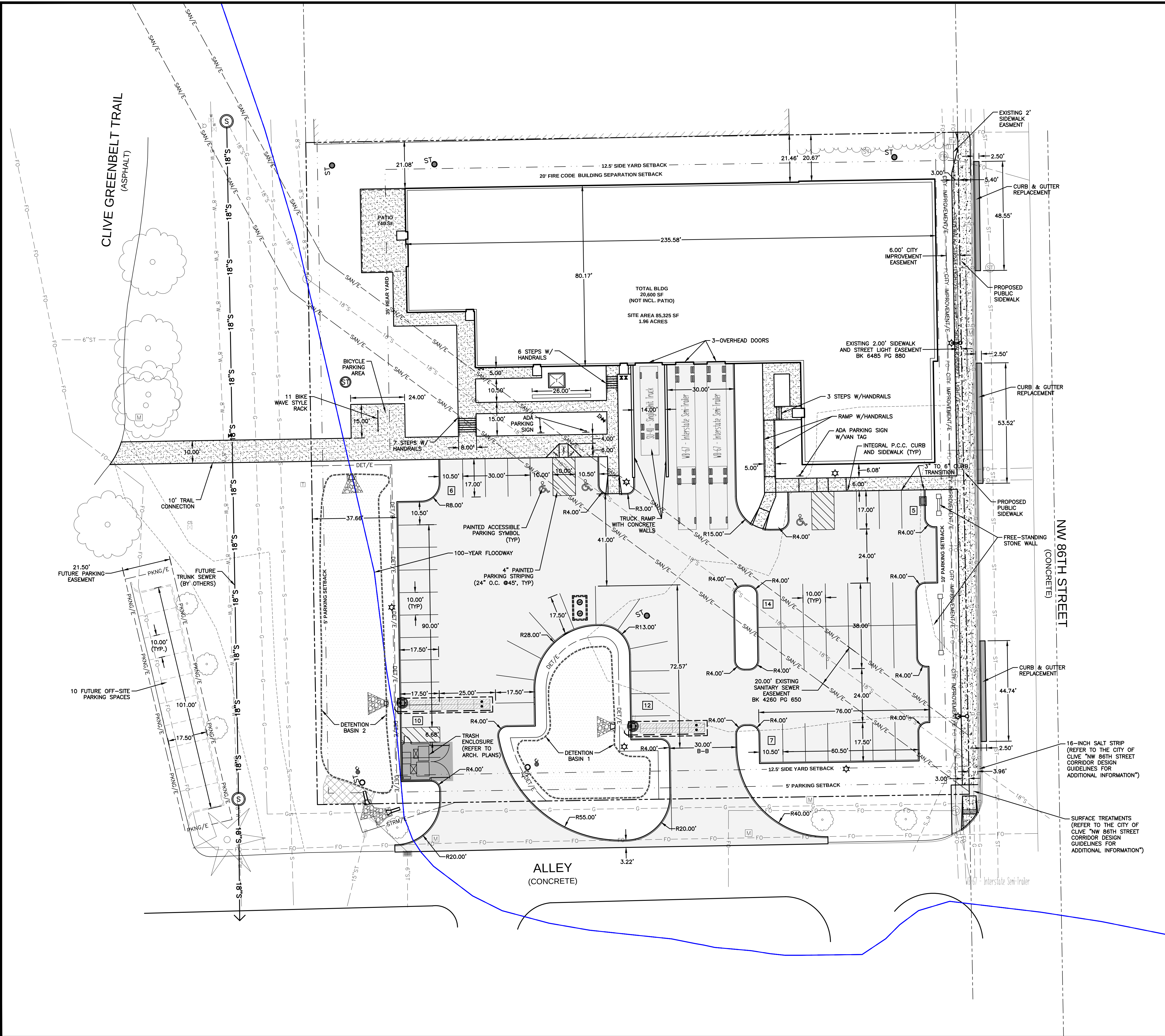
1480 NW 86TH STREET

DATE: 06/12/2025
SHEET NUMBER: C1.1
2310.697

DRAFTED:
CIVIL DESIGN ADVANTAGE

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DATE: 6/12/2025 7:59 AM
PLOTTER: HP DesignJet T1200
PLOT BY: JOHN BECKER

COMMENTS:
ENG.



GENERAL NOTES

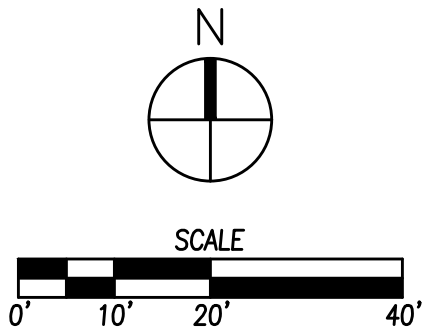
- THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- MATCH EXISTING THICKNESS OF PAVEMENT IF GREATER THAN 8 INCHES FOR THE CURB & GUTTER REPLACEMENT ALONG NW 86TH STREET.
- REFER TO TRAFFIC CONTROL NOTES ON SHEET C1.1.

CITY OF CLIVE STANDARD NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLIVE'S DEVELOPMENT REGULATIONS, POLICIES, AND STATEWIDE URBAN DESIGN AND STANDARDS MANUAL (SUDAS).
- ONE WEEK PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF CLIVE.
- THE CONTRACTOR AND DEVELOPER'S ENGINEER SHALL ATTEND A REQUIRED PRECONSTRUCTION WITH THE CITY PUBLIC WORKS AND ENGINEERING DEPARTMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL SANITARY SEWER, SUMP AND WATER MAIN SERVICES AND VERIFYING LOCATIONS ON THE AS-BUILT DRAWINGS.
- RECONNECT ANY FIELD TILE THAT IS INTERCEPTED DURING UTILITY CONSTRUCTION. LOCATION OF FIELD TILE SHALL BE NOTED ON THE AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD.
- PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS, AS-BUILT RECORD DRAWINGS (HORIZONTAL AND VERTICAL AS-BUILT DATA IN STATE PLANE COORDINATES AND NAVD 88 FOR ALL WATER, SANITARY SEWER, STORM SEWER PIPING AND ASSOCIATED APPURTENANCES, AND SITE GRADING WILL BE PROVIDED (VOLUME CALCULATIONS FOR ALL STORM WATER DETENTION FACILITIES SHALL ALSO BE PROVIDED).
- SIDEWALK AND DRIVEWAY APPROACH INSTALLATIONS SHALL BE INSPECTED BY THE CITY OF CLIVE FOLLOWING A MINIMUM 48-HOUR NOTICE.
- THE OWNER/CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
- AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED ON CITY OF CLIVE RIGHT-OF-WAY.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
- OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR CREWS AND EQUIPMENT.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF CLIVE INSPECTORS BASED ON ACTUAL FIELD CONDITION.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY/FINAL PLAT APPROVAL, ALL UTILITY STRUCTURES, MANHOLES, VALVES, INTAKES SHALL BE RAISED LEVEL WITH FINISH GRADE.
- ALL UTILITIES, INCLUDING ELECTRICAL AND TELEPHONE SHALL BE LOCATED UNDERGROUND.
- ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHER LANDSCAPING IS IDENTIFIED ON THE SITE PLAN.
- EXISTING LANDSCAPING SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE DURING CONSTRUCTION.
- ALL TRASH DUMPSTERS SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE.
- ALL ROOF MOUNTED MECHANICAL UNITS AND/OR TELECOMMUNICATION DEVICES OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE OR LANDSCAPING.
- ALL TOPSOIL MUST MEET CLIVE POST-CONSTRUCTION STORM WATER MANUAL. TOPSOIL SHALL BE MINIMUM 4" DEPTH, MINIMUM 12% OR AS INDICATED IN SWMP% ORGANIC CONTENT, 6.0-8.0 PH, MAXIMUM 25% FRIABLE CLAY CONTENT, AND FREE OF DEBRIS, HARD CLODS, ROOTS, SOD, STIFF CLAY, HARD PAN, AND STONES LARGER THAN 1".
- ALL TOPSOIL MUST MEET IOWA DEPARTMENT OF NATURAL RESOURCES GENERAL PERIT #2 REQUIREMENTS TO MINIMIZE SOIL COMPACTION, DEFINED AS WORKING THE SOIL PRIOR TO SEEDING/SODDING SUCH THAT A PENETROMETER CAN BE INSERTED INTO THE UPPER 6 INCHES WITH LESS FORCE THAN 200 PSF. AS AN ALTERNATIVE TO THE PENETROMETER TEST, A SOIL WITH BULK DENSITY LESS THAN 1.49 GRAMS/CUBIC CENTIMETER SHALL BE DEEMED COMPLIANT WITH THIS REQUIREMENT.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- NO CHANGES TO THE APPROVED PLAN MAY BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
- CONTRACTOR, FINANCING AND/OR PROJECT IDENTIFICATION SIGNS SHALL NOT BE INSTALLED ON THE CITY OF CLIVE RIGHT-OF-WAY.
- VALVES INCLUDED IN STORMWATER MANAGEMENT FACILITIES SHALL BE CLOSED AT THE TIME OF FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY/APPROVAL OF FINAL PLAT.

PAVEMENT THICKNESS

- | | | |
|-------------------------|-----------|--|
| 1. SIDEWALK | 4" P.C.C. | |
| 2. STANDARD DUTY PAVING | 7" P.C.C. | |
| 3. HEAVY DUTY PAVING | 8" P.C.C. | |



DATE

REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

CIVIL DESIGN ADVANTAGE

CLIVE, IOWA

DEHNER DISTILLERY
DIMENSION PLAN

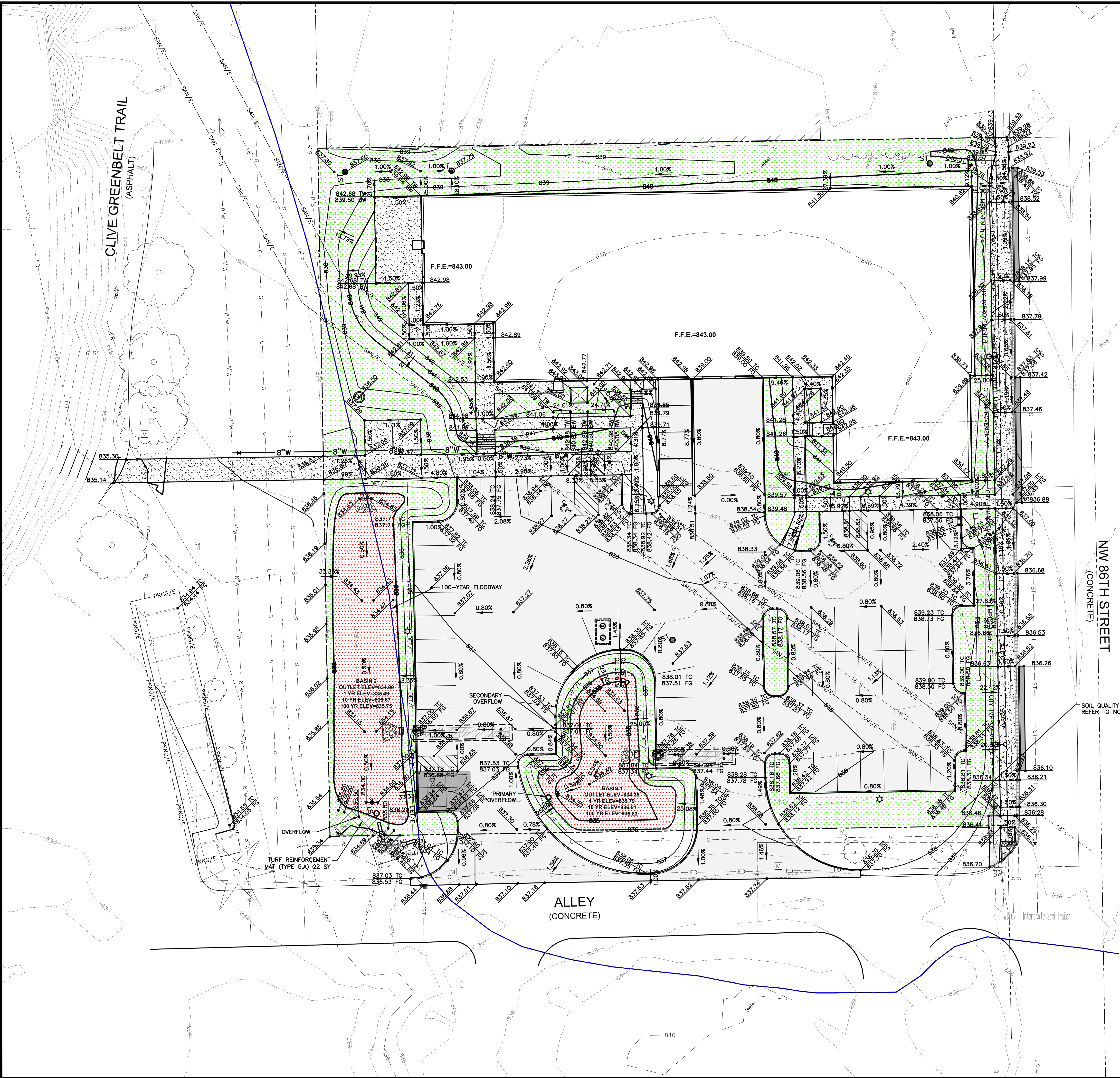
1480 NW 86TH STREET

DATE:
06/12/2025

SHEET NUMBER:
C2.1
2310.697

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DATE: 6/12/2025
PLOTTER: HP DesignJet T1200
PLOT BY: JOHN BECKER

COMMENTS:
ENG.



GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPAID AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
 - MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS.
 - ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 7/32, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.

SOIL QUALITY RESTORATION/TOPSOIL RESPAID

1. ALL GREEN AREAS (EXCLUDING FUTURE BUILDING EXPANSION/PARKING AREAS) SHALL HAVE SOIL QUALITY RESTORATION (SQR) AS PART OF THE FINAL LANDSCAPING, PRIOR TO SEEDING OR INSTALLATION OF SOD.
2. 8" OF TOPSOIL SHALL BE RESPAID AND SHOULD CONTAIN OR BE AMENDED TO CONTAIN A MINIMUM OF 4% ORGANIC MATTER CONTENT.
3. IF TOPSOIL ORGANIC MATTER IS BELOW 4%, APPLY COMPOST AS NECESSARY TO ACHIEVE A MINIMUM OF 4% ORGANIC MATTER CONTENT. APPLY COMPOST IF REQUIRED BEFORE TILLAGE.
4. PERFORM TILLAGE AS NECESSARY TO A DEPTH OF 6" TO ADDRESS EXCESSIVE COMPACTION.
5. DO NOT RESPAID TOPSOIL OR PERFORM TILLAGE OPERATIONS WHEN SOILS ARE WET. PENETROMETER READINGS OF NO GREATER THAN 200 PSI TO A DEPTH OF 6". MINIMUM OF 10 LOCATIONS PER ACRE OF SQR.
6. AFTER RESPAID, AVOID PLACEMENT OF SPOILS, FILL, OTHER MATERIALS, OR HEAVY EQUIPMENT ON THE RESTORED AREA.

SPOT ELEVATION REFERENCE NOTES

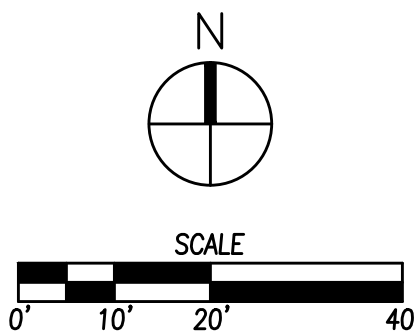
- TC - TOP OF CURB
FG - FINISHED GRADE
TW - TOP OF WALL AT FINISH GRADE
BW - BOTTOM OF WALL AT FINISH GRADE
HP - HIGH POINT
LP - LOW POINT
OE - OVERFLOW ELEVATION
ME - MATCH EXISTING

DETENTION BASIN 1 STAGE-STORAGE

STAGE (FT)	ELEVATION (FT)	CONTOUR AREA (SF)	INCREMENTAL STORAGE (CF)	TOTAL STORAGE (CF)
0.00	834.35	0	0	0
0.65	835.00	1,505	489	489
1.65	836.00	2,353	1,929	2,418
2.65	837.00	3,674	3,014	5,432

DETENTION BASIN 2 STAGE-STORAGE

STAGE (FT)	ELEVATION (FT)	CONTOUR AREA (SF)	INCREMENTAL STORAGE (CF)	TOTAL STORAGE (CF)
0.00	834.00	0	0	0
0.50	834.50	2,352	588	588
1.00	835.00	3,845	1,549	2,137
1.50	835.50	4,392	2,059	4,197



DATE

REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:
DRAFTED:

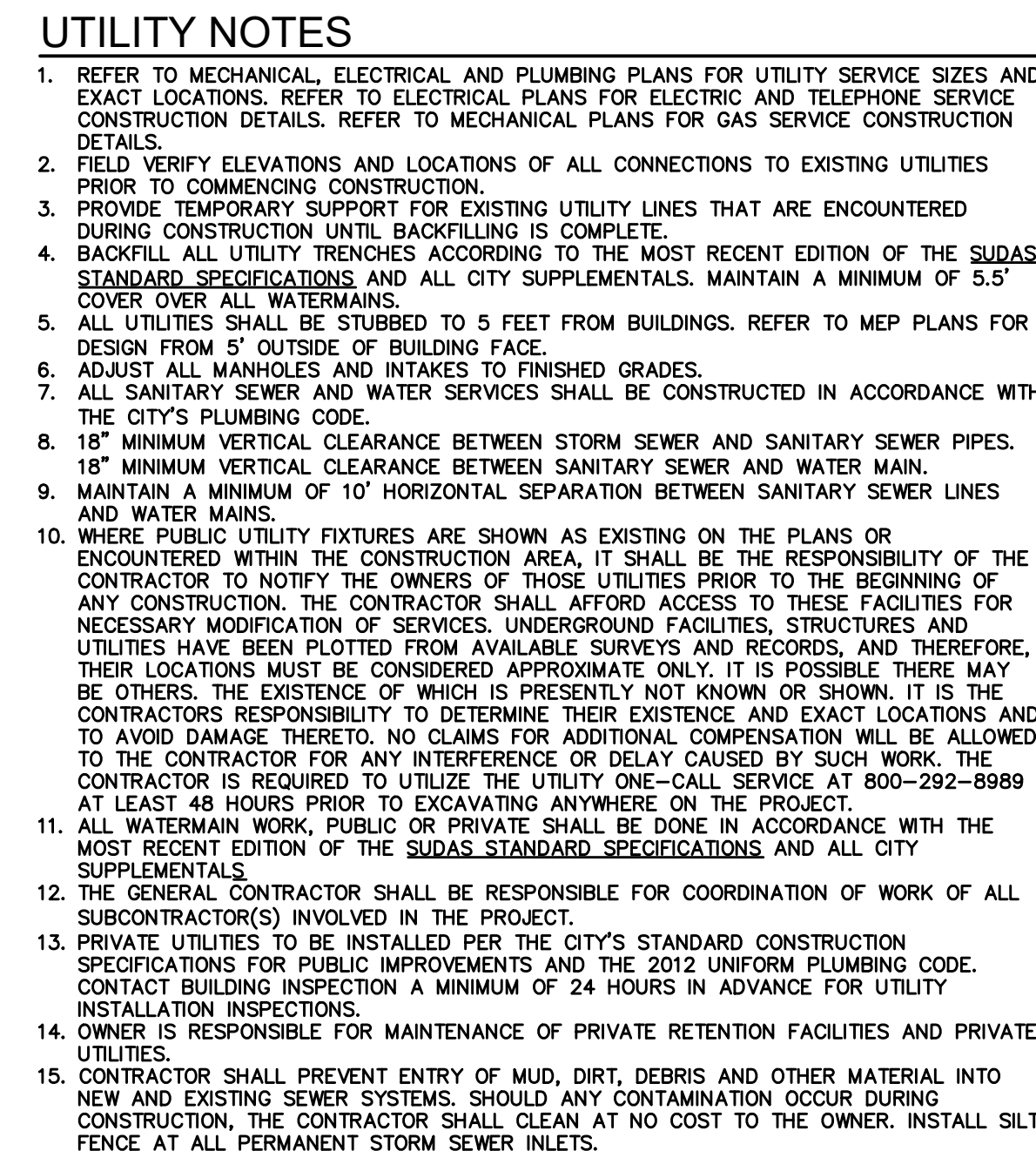
CLIVE, IOWA

1480 NW 86TH STREET

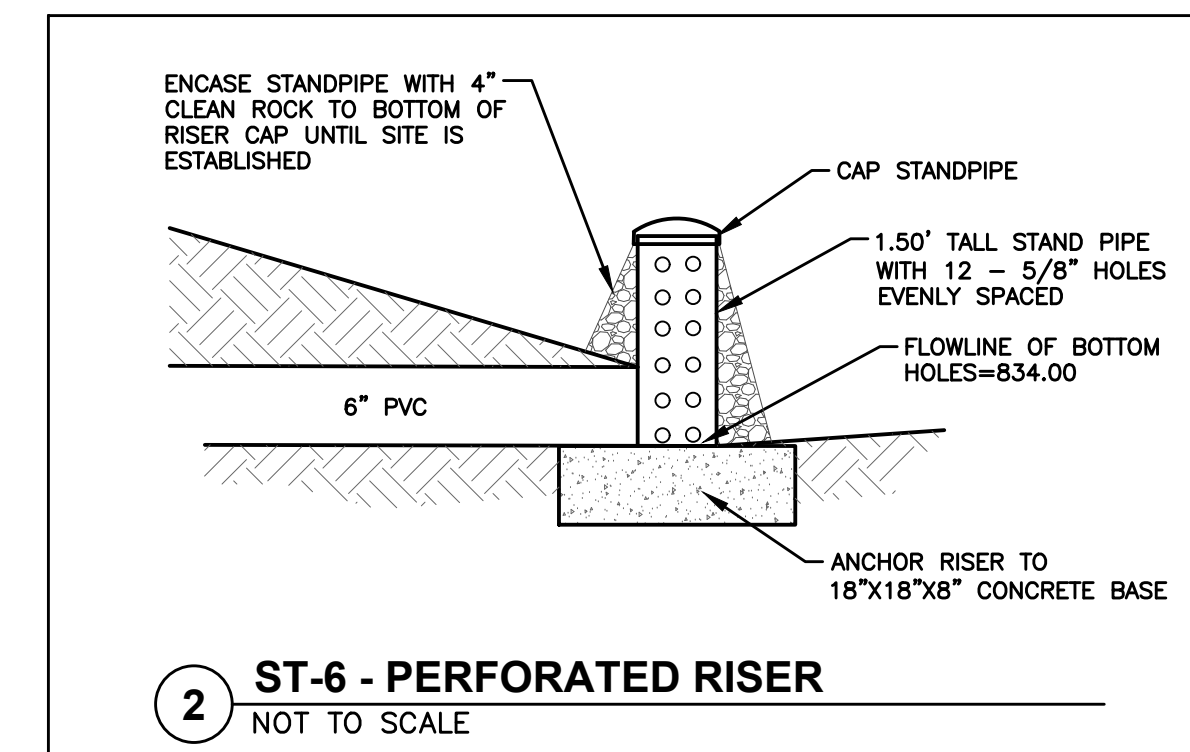
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SHEET NUMBER: C3.1
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DEHNER DISTILLERY

GRADING PLAN



1. POWER TO BE PROVIDED FROM THE EXISTING CONTROL STATION CABINET LOCATED AT 1442 NW 86TH STREET (NORTH OF CAR-X).





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FILE DATE: 6/12/25
PLOTTED BY: JOHN BECKER

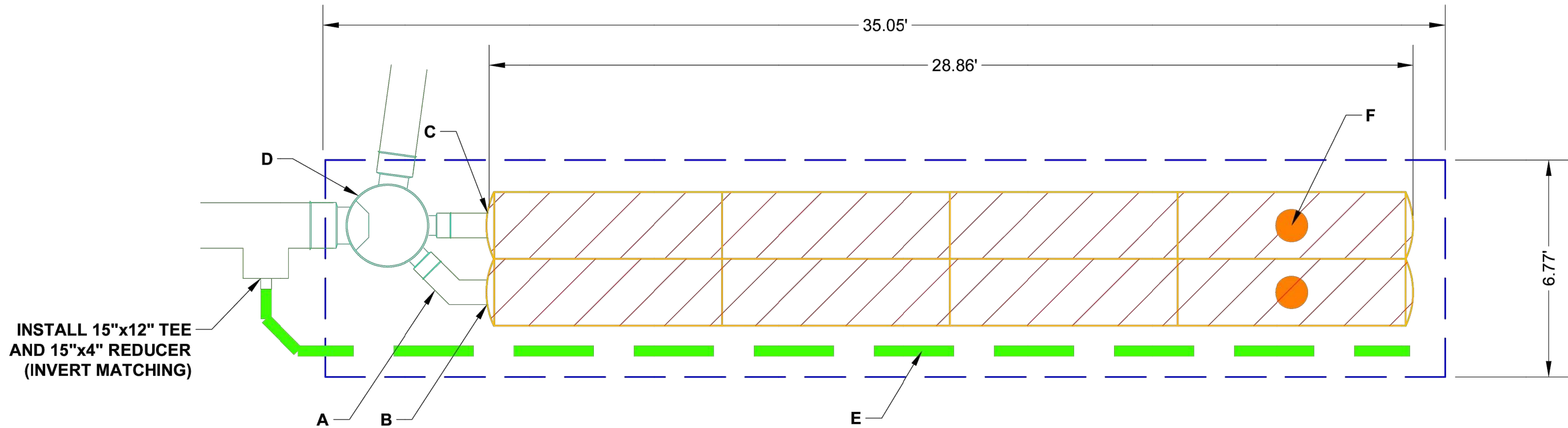
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ISOLATOR ROW PLUS
(SEE DETAIL)

PLACE MINIMUM 12.50' OF ADSPLUS625 WOVEN GEOTEXTILE OVER BEDDING
STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL
CHAMBER INLET ROWS

BED LIMITS

NOTE: THIS SYSTEM AS DESIGNED
CURRENTLY PROVIDES WQ TREATMENT
FOR FLOWS UP TO 0.88 CFS.



NOTES

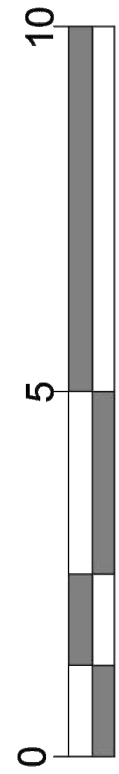
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

PROPOSED LAYOUT		PROPOSED ELEVATIONS	
8	STORMTECH SC-160LP CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	845.77
4	STORMTECH SC-160LP END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	837.44
6	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	836.94
6	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	836.94
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	836.94
221	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	TOP OF STONE:	836.27
		TOP OF SC-160LP CHAMBER:	835.77
		8" x 8" BOTTOM MANIFOLD INVERT:	834.85
		8" ISOLATOR ROW PLUS INVERT:	834.85
		8" BOTTOM CONNECTION INVERT:	834.85
236	SYSTEM AREA (SF)	BOTTOM OF SC-160LP CHAMBER:	834.77
83.4	SYSTEM PERIMETER (ft)	UNDERDRAIN INVERT:	834.77
		BOTTOM OF STONE:	834.27

PART TYPE		ITEM ON LAYOUT	DESCRIPTION	*INVERT ABOVE BASE OF CHAMBER	
MANIFOLD		A	8" x 8" BOTTOM MANIFOLD, MOLDED FITTINGS	0.96"	
PIPE CONNECTION		B	8" BOTTOM CONNECTION	0.96"	
PIPE CONNECTION		C	8" BOTTOM CONNECTION	0.96"	
NYLOPLAST STRUCTURE		D	30" DIAMETER (WITH 24" SUMP AND WEIR) RECOMMENDED TOP OF WEIR ELEVATION = 835.1		
W/WEIR AND ISO PLUS ROW		E	4" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN		
INSPECTION PORT		F	6" SEE DETAIL (TYP 2 PLACES)		

StormTech®
Chamber System

4840 TRUEMAN BLVD
HILLIARD, OH 43026
1-800-733-7473



SHEET
2 OF 6

DEHNER DISTILLERY - EAST

CLIVE, IA, USA

DATE: 06/10/2025

DRAWN: JM

PROJECT #:

CHECKED: N/A

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS/STORMTECH UNDER THE DIRECTION OF THE PROJECT'S ENGINEER OF RECORD. IT IS THE ULTIMATE RESPONSIBILITY OF THE EOR TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

1-800-821-6710 | WWW.STORMTECH.COM

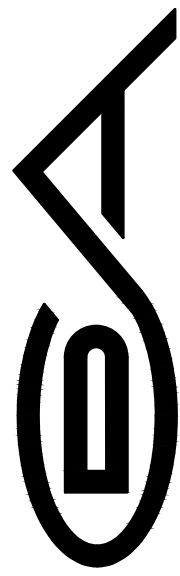
DEHNER DISTILLERY
DETAILS

1480 NW 86TH STREET

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:

DRAFTED:



CLIVE, IOWA

REVISIONS

DATE

DATE:
06/12/2025

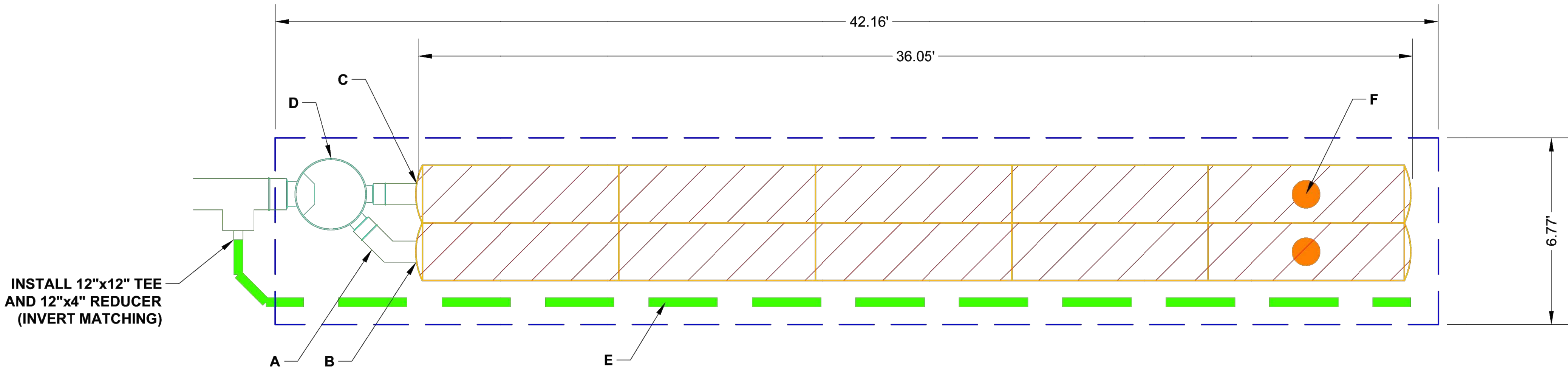
SHEET NUMBER:
C5.2
2310.697

① EAST UNDERGROUND CHAMBER SYSTEM
NOT TO SCALE

FILE: J:\2024\20187\DWG\20187-1.dwg
FILE DATE: 6/12/2025
PLOTTED BY: JOHN BECKER
COMMENT: ENG

PROPOSED LAYOUT		PROPOSED ELEVATIONS	
10	STORMTECH SC-160LP CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	845.32
4	STORMTECH SC-160LP END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	836.99
6	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	836.49
6	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	836.49
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	836.49
269	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	TOP OF STONE:	835.82
		TOP OF SC-160LP CHAMBER:	835.32
		8" x 8" BOTTOM MANIFOLD INVERT:	834.40
		8" ISOLATOR ROW PLUS INVERT:	834.40
		8" BOTTOM CONNECTION INVERT:	834.40
285	SYSTEM AREA (SF)	BOTTOM OF SC-160LP CHAMBER:	834.32
97.8	SYSTEM PERIMETER (ft)	UNDERDRAIN INVERT:	834.32
		BOTTOM OF STONE:	833.82

NOTE: THIS SYSTEM AS DESIGNED
CURRENTLY PROVIDES WQ TREATMENT
FOR FLOWS UP TO 1.10 CFS.



- ISOLATOR ROW PLUS
(SEE DETAIL)
- PLACE MINIMUM 12.50' OF ADSPLUS625 WOVEN GEOTEXTILE OVER BEDDING
STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL
CHAMBER INLET ROWS
- BED LIMITS

NOTES

- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

WEST UNDERGROUND CHAMBER SYSTEM
NOT TO SCALE

StormTech®
Chamber System

4840 TRUEMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

1-800-821-6710 | WWW.STORMTECH.COM

DEHNER DISTILLERY - WEST

CLIVE, IA, USA

DATE: 06/10/2025

PROJECT #:

DRAWN: JM

CHECKED: N/A

1

2 OF 6

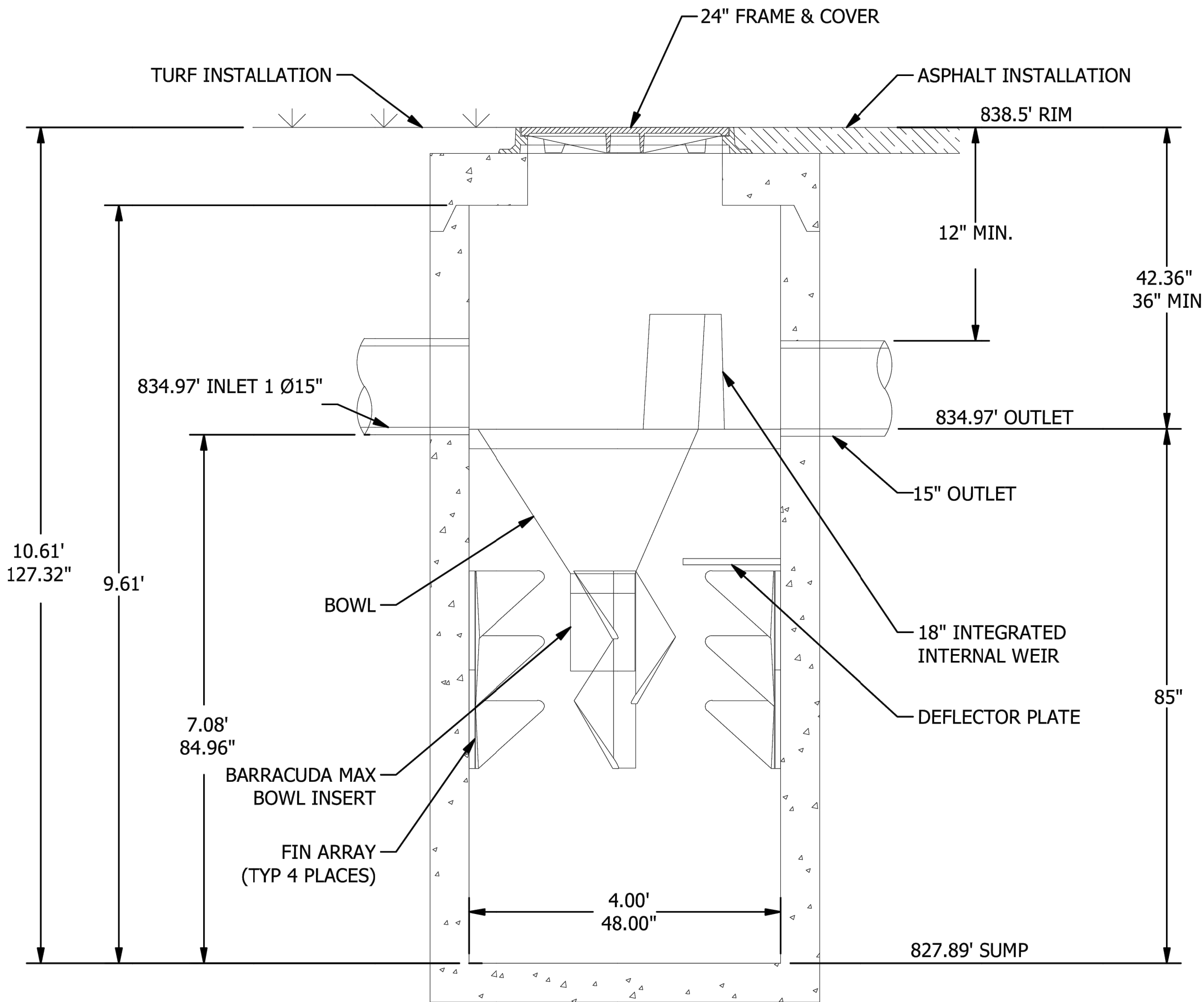
FILE: J:\2024\20187\DWG\20187-01-01.dwg
FILE DATE: 6/12/2025
PLOTTER: HP DesignJet T1200
PLOTTER BY: JOHN BECKER

COMMENT:
ENG.

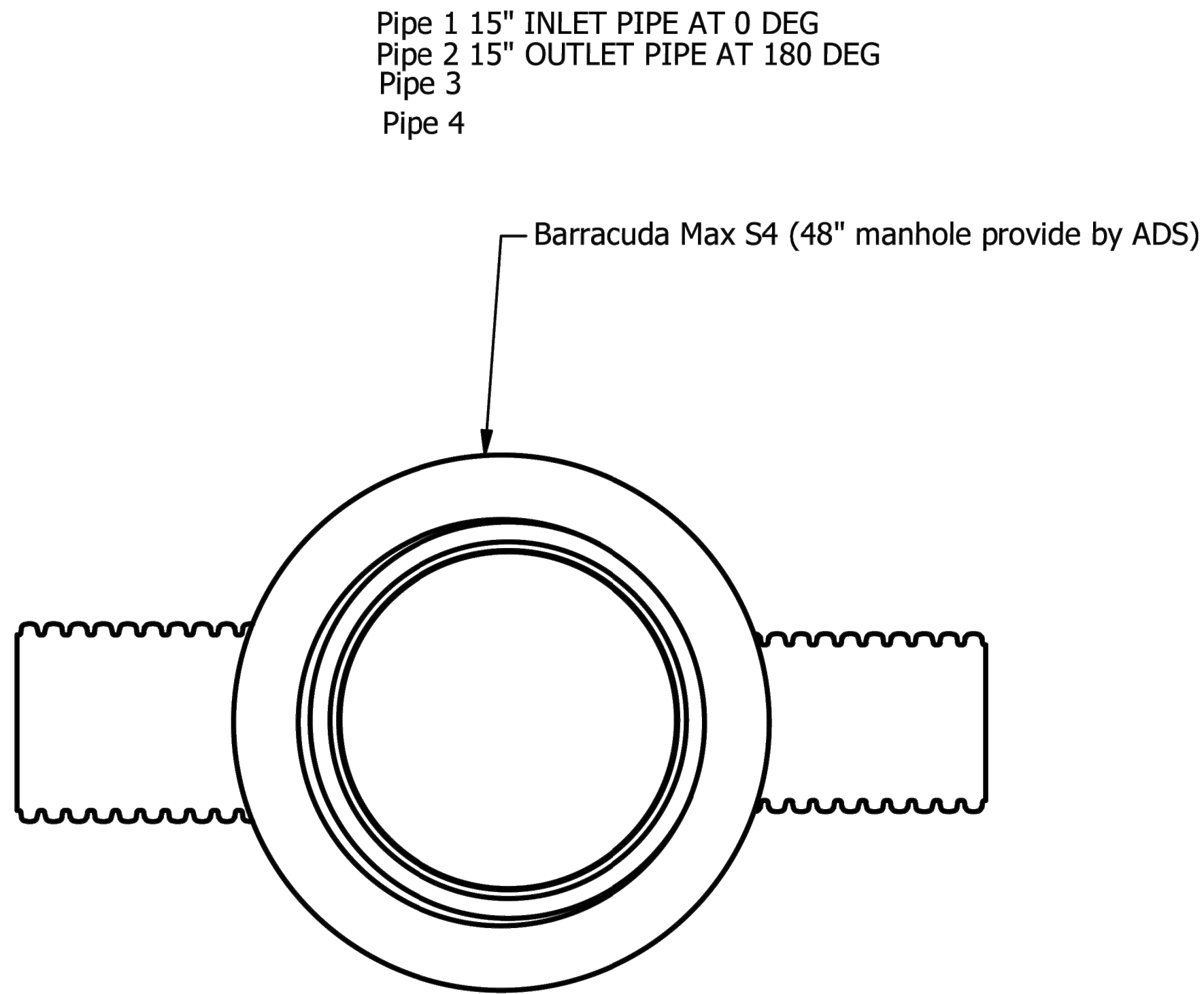
BARRACUDA MAX S4	
UNIT ID	ST-40
PEAK FLOW RATE (CFS)	6
TREATMENT FLOW RATE (CFS)	1.52

PRODUCT SPECIFICATIONS

- THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
 - OR -
 - THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH d/50=75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.
 - OR -
 - THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER PREVIOUS 2013 NJDEP/NJCAT HDS PROTOCOL.

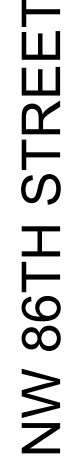


SECTION VIEW A-A
N.T.S.



PLAN VIEW
N.T.S.

DEHNER DISTILLERY CLIVE-IA	DATE: 6/10/25		DRAWN: XX	
	PROJECT #:		CHECKED: XX	
Barracuda Max Stormwater Separator		DATE	DRWN	CHKD
4640 TRUEMAN BLVD HILLIARD, OH 43026		NOT TO SCALE		
SHEET 2 OF 2		THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.		



1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATION, AND ALL CITY OF CUVE SUPPLEMENTALS, IF APPLICABLE, SHALL BE THE BASIS OF THE CONTRACT, UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.
4. DEVELOP A SHADING SCHEDULE FOR SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOD, IF REQ.)
6. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARKWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS NOT LOCATED IN A ROCK MULCH BED TO A MINIMUM DEPTH OF
8. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
9. ALL DESIRS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FOR THE PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
11. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

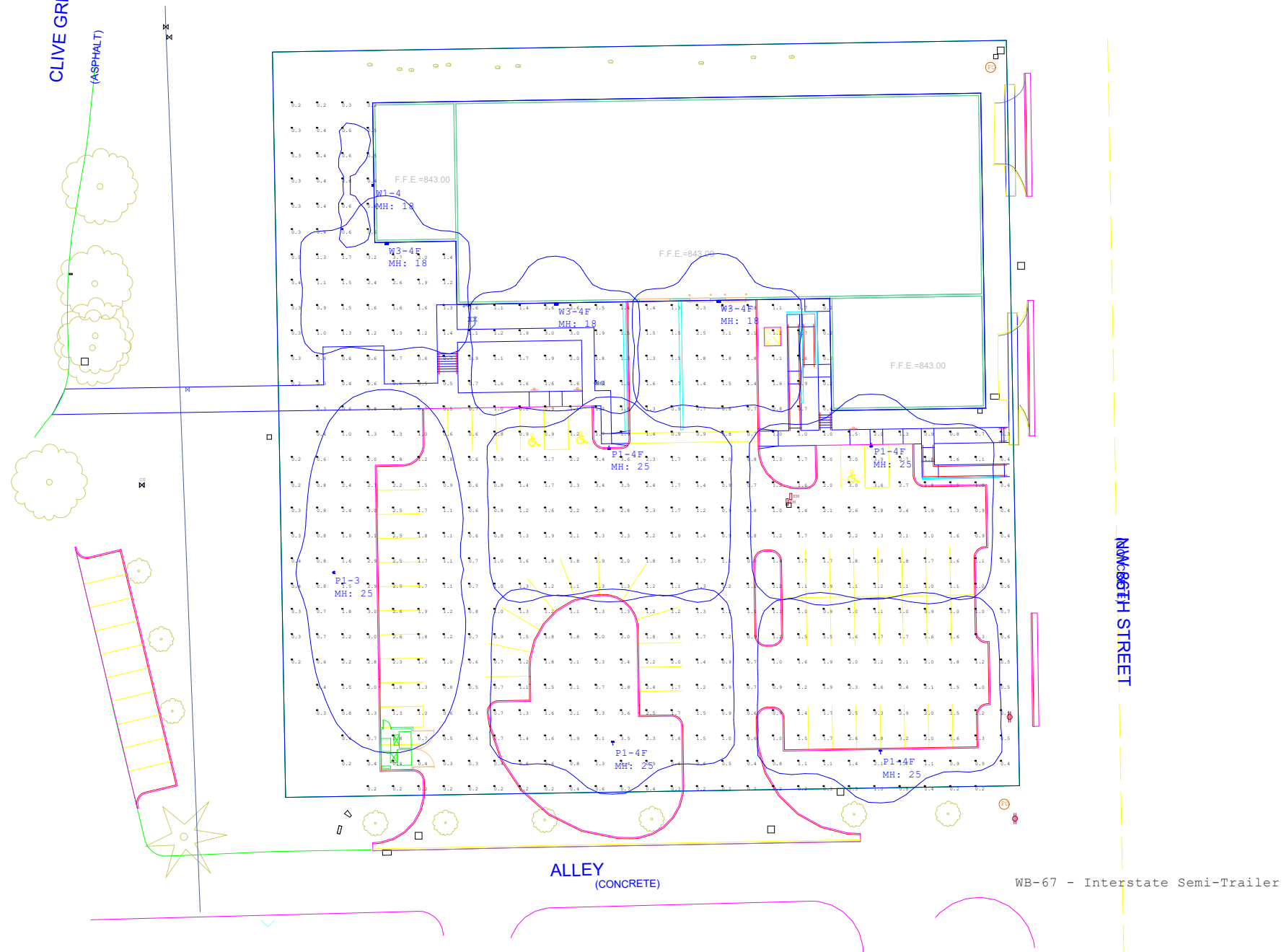
SITE AREA: 85,325 SF <u>PROPOSED IMPERVIOUS AREA</u> BUILDING: 20,865 SF PAVING: 31,566 SF SIDEWALKS: 4,251 SF PATIO: 740 SF 57,422 SF <u>OPEN SPACE REQUIREMENTS</u> OPEN SPACE REQUIRED: 17,065 SF (20.0%) OPEN SPACE PROVIDED: 27,903 SF (32.7%) <u>LANDSCAPE REQUIREMENTS (1.5 TREES/1,000 SF)</u> MINIMUM TREES REQUIRED: (17,093 SF/1,000 SF)x1.5 26 TREES TREES PROVIDED: OVERSTORY (MIN 50%): 15 TREES (58%) ORNAMENTAL: 1 TREES (4%) EVERGREEN (MIN 25%): 10 TREES (38%) TOTAL 26 TREES <u>FUTURE OFF STREET PARKING AREAS (1 TREE/ISLAND)</u> PARKING ISLANDS: 10 ISLANDS TREES REQUIRED: 10 TREES* TREES PROVIDED: 11 TREES *THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO.	*THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO. <u>LANDSCAPE SCREENING</u> LANDSCAPE PLANTINGS USED FOR SCREENING SHALL BE PREDOMINANTLY EVERGREEN AND/OR PROVIDE SEASONAL INTEREST YEAR-ROUND. A MINIMUM HEIGHT OF APPROXIMATELY 48" AT MATURITY SHOULD BE PROVIDED. SHRUBS & GRASSES PROVIDED: 49 <u>BUILDING FOUNDATION AND SIGN PLANTINGS</u> PLANTING AREAS SHALL BE INCLUDED AROUND GROUND MOUNTED SIGNS AND BUILDING FOUNDATIONS VISIBLE TO THE GENERAL PUBLIC OR RESIDENTIAL NEIGHBORS. SHRUBS & GRASSES PROVIDED: 96 <u>SPECIES DIVERSITY</u> NO SITE SHALL BE DOMINATED BY A SINGLE SPECIES OR GENUS OF TREES OR OTHER LANDSCAPING. FOR PROJECTS INSTALLING 20 OR MORE TREES, NO GENUS SHALL ACCOUNT FOR MORE THAN 20% OF THE TREES ON SITE. MAX TREES OF ANY GENUS: 5 TREES
---	--

PLANT SCHEDULE				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
LL	4	GREENSPICE LITTLELEAF LINDEN	TELIA CORDATA 'GREENSPIRE'	B&B, 2" CALIPER
RBR	4	RIVER BIRCH MULTI-TRUNK	BETULA NIGRA	B&B, 2" CALIPER
SWO	1	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 2" CALIPER
TLP	4	TULIP POPLAR	LIRIODENDRON TULIPIFERA	B&B, 2" CALIPER
EVERGREEN TREES				
JS	10	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	B&B, 6" HEIGHT
ORNAMENTAL TREES				
ABS	1	AUTUMN BRILLIANCE APPLE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B, 1.5" CALIPER
SHRUBS				
AWW	10	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM 'ARROWWOOD'	CONT, 24" HEIGHT
CBH	4	COMPACT BURNING BUSH	EUNYOMIS ALATUS 'COMPACTUS'	CONT, 24" HEIGHT
CBX	8	CHOCOLADO GREEN BOXWOOD	BUXUS X 'GLENCOE'	CONT, 18" HEIGHT
CH	4	IVORY HALO® TATARIAN DOGWOOD	CORNUS ALBA 'BALIHAU'	CONT, 3 GAL
DJA	11	DENSE ANGLO-JAPANESE YEW	TAXUS MEDIA 'DENSIFORMIS'	CONT, 18" HEIGHT
EGL	15	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	CONT, 24" HEIGHT
GLS	3	GRO-LOW FRAGRANT SUMAC	RHUS ARAMATICA 'GRO-LOW'	CONT, 18" HEIGHT
OS	4	GOLDFLAME SPIREA	SPIRAEA X BUMALDA 'GOLDFLAME'	CONT, 1 GAL
HUJ	21	HICKS ANGLO-JAPANESE YEW	TAXUS MEDIA 'HICKSI'	CONT, 24" HEIGHT
IBH	4	INCREDIBALL® HYDRANGEA	HYDRANGEA ARBORESCENS 'ABETWO'	CONT, 18" HEIGHT
JC	6	GOLD CONE COMMON JUNIPER	JUNIPERUS COMMUNIS 'GOLD CONE'	CONT, 3 GAL
JZ	3	GOLDEN CARPET JUNIPER	JUNIPERUS HORIZONTALIS 'GOLDEN CARPET'	CONT, 3 GAL
NBK	8	NORWAY SPRUCE	PRYSCARPUS OPIULIFOLUS	CONT, 3 GAL
RBR	6	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	CONT, 3 GAL
RTD	12	ARCTIC FIRE® RED TWIG DOGWOOD	CORNUS STOLONIFERA 'FARROW'	CONT, 3 GAL
GRASSES				
KF	18	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	CONT, 1 GAL
MG	33	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILIMUS'	CONT, 3 GAL

BETWEEN APRIL 1 AND JUNE 30, USE THE FOLLOWING SEED MIXTURE FOR AREAS DESIGNATED FOR NATIVE GRASS AND FORBS (WILDFLOWER) SEEDING.

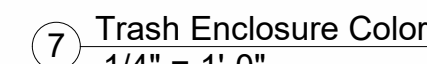
COMMON NAME	SCIENTIFIC NAME	FLS(PER AC)**
GRASSES		
BIG BLUESTEM*	ANDROPOGON GERARDI	1.0 LBS.
CANADA WILD RYE	ELYMUS CANADENSIS	1.5 LBS.
INDIANGRASS*	SORGHASTRUM NUTANS	1.0 LBS.
LITTLE BLUESTEM*	SCHIZACHYRIUM SCOPARIUM	2.0 LBS.
SIDE-OATS GRAMA*	BOULEAU CURTIPENDULA	2.5 LBS.
SWITCHGRASS*	PANICUM VIRGATUM	2.0 LBS.
FORBS (WILD-FLOWERS)		
BLACK-EYED SUSAN	RUDBECKIA HIBERNA	3.0 OZ.
BUTTERFLY MILKWEED	ASCLEPIAS TUBEROSA	4.0 OZ.
ANEMONE	ANEMONE CANADENSIS	0.0 OZ.
COMMON MOUNTAINMINT	PHYNCANTHUM VIRGINIANUM	0.25 OZ.
GOLDEN ALEXANDERS	ZIZIA AUREA	0.8 OZ.
GREY-HEADED CONEFLOWER	RATIBIDA PINNATA	2.75 OZ.
HEATH ASTER	SMYPHYOTRICHUM ERICOIDES	0.25 OZ.
BROWNWEED	VERONIA FAXICULATA	3.0 OZ.
NEW ENGLAND ASTER	SMYPHYOTRICHUM NOVAE-ANGLIAE	1.25 OZ.
OHIO SPIRDEWORT	TRIDESANTIA OHIENSIS	7.0 OZ.
ORANGE SUNFLOWER	HELIPSONES HELIANTHOIDES	12.0 OZ.
PURPLE PURPLE CONEFLOWER	ECHINOPS PALIDUS	15.0 OZ.
PRATTLE CREEP	CHAMAECRISTA FASCICULATA	32.0 OZ.
PRAIRIE BLAZING STAR	LAIATIS PHYCOSTACHYA	2.5 OZ.
PURPLE PRAIRIE CLOVER	DALEA PURPUREA	2.5 OZ.
TRAILSNESAKE MASTER	ERYNGIUM YUCIFOLIUM	1.75 OZ.
SHOWY GOLDENROD	SOLIDAGO SPECIOSA	0.5 OZ.
STIFF GOLDENROD	SOLIDAGO RIGIDA	1.0 OZ.
SWAMP MILKWEED	ASCLEPIAS INCARNATA	4.0 OZ.
WHITE WILD INDIGO	BAPTISIA ALBA	2.0 OZ.
WILD BERGAMOT	MONARDA FISTULOSA	1.25 OZ.
NURSE CROP		
OATS (SPRING SEEDING - APRIL 1 TO JUNE 30)		32 LBS.
WINTER WHEAT (DORMANT/FROST SEEDING - NOVEMBER 1 TO MARCH 31)		25 LBS.

** SEEDING RATES FOR NATIVE GRASS AND FORB SPECIES ARE GIVEN AS PLS. EITHER THE GERMINATION TEST OR TETRAZOLIUM (TZ) TEST IS ACCEPTABLE TO DETERMINE PLS FOR NATIVE SPECIES.



Luminaire Schedule					
Symbol	Qty	Description	Tag	Mounting Height	BUG Rating
	3	VPW2-80L-45-35K8-4F (3500 K)	W3-4F	18	B1-U0-G2
	1	VPW1-24L-15-35K8-4W (3500 K)	W1-4	18	B0-U0-G1
	4	VP-1-160L-115-35K8-4F (3500 K)	P1-4F	25	B2-U0-G2
	1	VP-1-160L-115-35K8-3 (3500 K)	P1-3	25	B2-U0-G3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Illuminance	Fc	1.32	3.9	0.2	6.60	19.50



7 Trash Enclosure Color
1/4" = 1' 0"



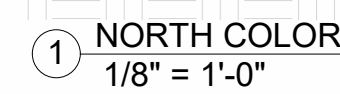
SW AERIAL VIEW



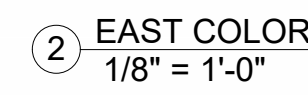
EXTERIOR MATERIALS		EAST (STREET FACING)		SOUTH		WEST		NORTH		SUMMARY (ALL SIDES)	
		AREA	%	AREA	%	AREA	%	AREA	%	AREA	%
MASONRY REQUIREMENT	BRICK	2909		1080		636		1392		6017	
	STUCCO	443	100%	581	30%	338	35%	0	27%	1362	44%
OTHER WALL MATERIALS	ARCHITECTURAL METAL PANELS WITH CONCEALED FASTENERS	0		3454		1181		0		4635	
	STANDARD METAL PANELS WITH EXPOSED SAME-COLOR FASTENERS	0	0%	378	70%	590	65%	3764	73%	4732	56%
TOTAL NON-GLAZED WALL AREA		3352	88%	5493	87%	2745	88%	5156	94%	16746	89%
GLAZING	STOREFRONT/GLAZING	470	12%	433	7%	391	12%	310	6%	1604	9%
OPENINGS	OPAQUE DOORS	0	0%	361	6%	0	0%	0	0%	361	2%
TOTAL WALL AREA INCLUDING OPENINGS		3822		6287		3136		5466		18711	

EXTERIOR MATERIALS NOTES:

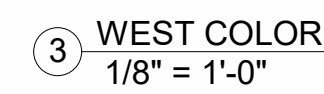
1. ROOFING - BUTLER MR-24 ROOF SYSTEM, STANDING SEAM, GALVALUME FINISH
2. STUCCO TEXTURED WALL PANEL - BUTLER
3. TEXTUREWALL PANEL SYSTEM, CONCEALED FASTENERS, COLOR COOL GRAY STONE
4. ARCHITECTURAL METAL WALL PANEL 1 - BUTLER
5. STYLWALL FLAT PANEL, CONCEALED FASTENERS, COLOR COOL GRAY STONE
6. ARCHITECTURAL METAL WALL PANEL 2 - BUTLER
7. SHADOWWALL PANEL, MATCHING COLOR FASTENERS, COLOR COOL GRAY STONE
8. FACE BRICK 1 - GLEN GERRY WELLINGTON WILLIAMSBURG, BUILDERS SPECIAL SIZE (MAN WALL COURSE)
9. FACE BRICK 2 - GLEN GERRY WELLINGTON WILLIAMSBURG, BUILDERS SPECIAL SIZE (SOLDER COURSE & QUORNS)
10. STOREFRONT - BLACK ANODIZED W/ INSULATED GLASS
11. OVERHEAD DOORS 1 - INSULATED METAL PANEL
12. OVERHEAD DOORS 2 - GLAZED W/ BLACK METAL AT TALL ROOM
13. EGRESS DOORS - PAINT TO MATCH WALL PANELS



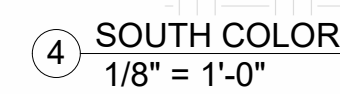
① NORTH COLOR
1/8" = 1'-0"



② EAST COLOR
 $\frac{1}{8}" = 1'-0"$



③ WEST COLOR
1/8" = 1'-0"



④ SOUTH COLOR
1/8" = 1'-0"

2025-03-04 -- FOR REVIEW

A3

DATE: 04 March 2025
PROJECT: Dehner Distillery
TO: City of Clive, c/o Amanda Grutzmacher
FROM: Rains Architecture, PLLC
RE: Building Elevations

ATTACHMENTS:

- colored building elevations

REMARKS:

Amanda,

Thank you for your time last week talking through the design requirements for this project. As you know, we are submitting the attached building elevations intending to meet or exceed the requirements in some ways but asking the city to grant some leniency in others, as follows.

- Cladding the entire building in 70% masonry is not financially feasible for this project. As such we have developed a concept that we believe is in keeping with the neighborhood and also exceeds the design requirements 'where it counts' so to speak.
- The concept is to give this building the appearance of a traditional brick building (with a stucco accent) on the east end, with a more contemporary, utilitarian building to the west, which will be mostly screened by the masonry portion.
- The east facade along 86th Street will be 100% brick and stucco panels. The actual brick area on this side will be 87%, and the stucco panels will be 13% of the wall area.
- The east end is to house production, storage and future office areas. The future office will be to the south in the 'bump-out' area where the stucco area at the top is shown.
- The portion of the north side that will be visible from 86th Street, which is closer to the street than the existing neighbor, will be 100% brick. The existing neighboring building is mostly clad in CMU and corrugated metal on that side. The area of our wall that will be screened by that building is shown with traditional metal panels with exposed fasteners that will be color matched to the panels. This area will only be visible if a person were to walk between the buildings through the drainage swale.
- The south side of the future office 'bump-out' will be 100% brick and stucco panel. The remainder of the south side around the dock area and extending back toward the tasting room is proposed to be clad with a smooth metal panel using concealed fasteners. This panel is a double layer panel with an insulated core and is designed to resist warping. It is a rigid, architectural panel.
- The west side of the 'bump-out' will be similar to the south, with 100% brick and stucco panel.
- The west end is where the tasting room and patio will be, facing the bike trail. This side is dominated by the patio canopy and railings, and a steel entrance canopy, and we have shown traditional wall panels below the canopy where they are shielded somewhat from view. This is an aesthetic choice for the look of the tasting room and patio. Above the canopy, where the wall is more visible, we are showing the smooth metal panels with concealed fasteners.
- Other design elements include metal awnings and decorative lighting on the east, with traditional brick details such as soldier coursing and quoins on the corners.
- While the over-all elevations away from 86th Street do not meet the full criteria details, we feel the proportions and aesthetics are in keeping with the neighborhood and will be an asset to the community. We hope you agree.

Respectfully Submitted,
 Jeff Rains, Architect



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: July 1, 2025

RE: Final Plat

GENERAL INFORMATION

Applicant: Civil Design Advantage, on behalf of Dehner Distillery

Requested Action: Final Plat Approval

Location: 1480 NW 86th St

Location	LAND USES & ZONING		
	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Vacant	Mixed Use	TC-4, FF Flood Fringe, FW Floodway
North	Commercial - Retail/Services	Mixed Use	TC-4, FF Flood Fringe
East	Utility	Mixed Use	TC-4, FF Flood Fringe, FW Floodway
South	Commercial - Retail/Services	Open Space	FW Floodway
West	Open Space	Open Space	FW Floodway

CASE HISTORY

1981 - Site Plan approved for new Burger King restaurant

1983 - Site Plan Amendment approved for parking expansion

1985 - Site Plan Amendment approved for greenhouse dining addition

1986 - Site Plan Amendment approved for building addition, parking expansion

1987 - Variance granted to reduce front setback from 50' to 46'

2000 - Porky's Diner as new occupant

2002 - Flashbacks Lounge as new occupant

2002 - Site Plan Amendment approved for exterior modifications

2003 - Demolition of building and site improvements

2025 - Site Plan for new Dehner Distillery (pending approval)

STAFF RECOMMENDATION

The subject property must be platted into a single lot to support redevelopment. Public improvements are limited to decorative streetlights along NW 86th Street and a potential neighborhood-scale water quality treatment project. Both of these improvements will be addressed in a separate agreement with the Developer as part of

the larger site redevelopment.

Staff recommends approval of the Final Plat for Dehner Distillery Plat 1, subject to final determination of easement legal descriptions that need to be granted by the City to the developer and receipt of required legal documents.

Attachments:

1. Final Plat Application
2. Dehner Distillery Plat 1 Final Plat



City of Clive

1900 NW 114th Street

Clive, IA 50325-7077

Phone (515) 223-6221

www.cityofclive.com

APPLICATION FOR DEVELOPMENT REVIEW

PERMIT

FPT25-000002 Final Plat

PROJECT LOCATION

1480 NW 86th Street

APPLICANT

Keith Weggen

4121 NW Urbandale Drive

Urbandale, IA 50322

(515) 369-4400

KeithW@cda-eng.com

DEVELOPER

Joseph Dehner

3400 Vine Street

West Des Moines, IA 50265

(515) 369-4400

joseph@dehnerdistillery.com

SURVEYOR

Jonathan Erdahl

4121 NW Urbandale Drive

Urbandale, IA 50322

(515) 369-4400

APPLICATION DATE

03/21/2025

PROJECT NAME

Dehner Distillery Plat 1

PROPERTY OWNER

Joseph Dehner

3400 Vine Street

West Des Moines, IA 50265

(515) 369-4400

joseph@dehnerdistillery.com

PROJECT MANAGER

Keith Weggen

4121 NW Urbandale Drive

Urbandale, IA 50322

(515) 369-4400

KeithW@cda-eng.com

ATTORNEY

MEETING DATES

PLANNING & ZONING COMMISSION

July 1, 2025

CITY COUNCIL

July 24, 2025

LOCATION:	PT. LOTS 2 AND 3 O.P. E1/2 SE1/4 SEC 34—79—25 CLIVE, POLK COUNTY, IOWA
REQUESTOR:	JOE DEHNER
PROPRIETOR:	JOE DEHNER 3200 VINE ST WEST DES MOINES, IA 50265—3249
SURVEYOR:	JONATHAN A. ERDAHL
COMPANY:	CIVIL DESIGN ADVANTAGE
PREPARED BY AND RETURN TO:	CIVIL DESIGN ADVANTAGE 4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PH: 515—369—4400

SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP#28686 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
LOT ADDRESS	(1234)	
CENTERLINE	_____	
SECTION LINE	_____	
EASEMENT LINE	_____	
BUILDING SETBACK LINE	_____	
PLAT BOUNDARY	_____	

FOUND	SET
▲	△
●	○
M	
R	
D	
P.U.E.	
(1234)	

A north arrow pointing upwards, labeled 'N' at the top. Below the arrow is a graphic scale bar labeled 'SCALE' with markings for 0', 10', 20', and 40'. Below the scale bar, the text '1" = 20' (FULL SIZE)' is printed.

AREA ABOVE RESERVED FOR RECORDING STAMP

JOE DEHNER
3200 VINE ST
WEST DES MOINES, IA 50265-3249
CONTACT: JOSEPH DEHNER
EMAIL: JOSEPH@DEHNERDISTILLERY.COM
PH: (515) 559-4879

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

TC4 (TOWN CENTER-SOUTH END DEVELOPMENT AREA)

FLOODWAY OVERLAY DISTRICT – FW

FLOODWAY FRINGE OVERLAY DISTRICT – FF

DATE OF SURVEY

FEBRUARY 5, 2025

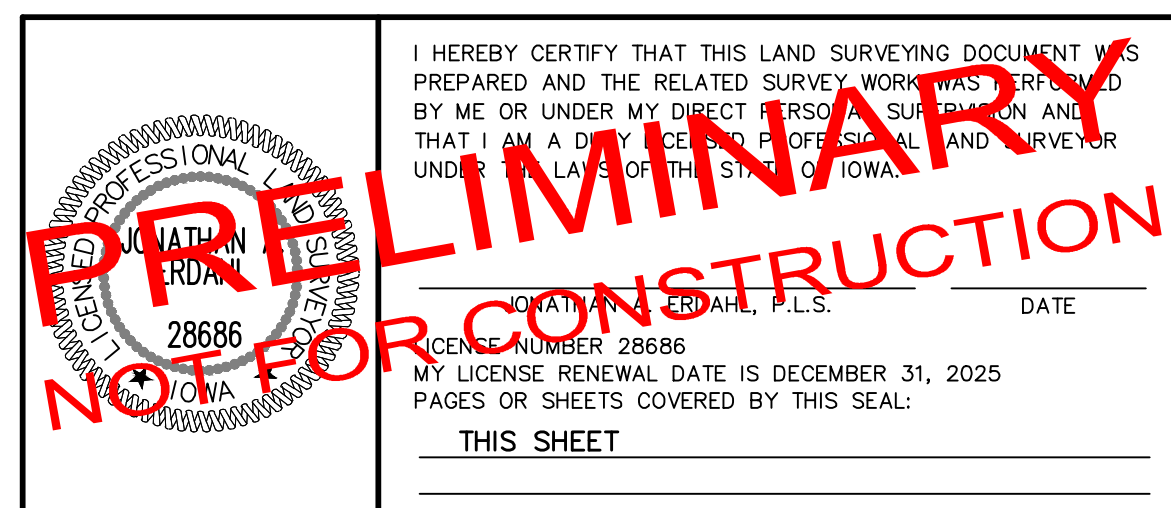
SETBACKS
FRONT YARD: 0 FEET MIN - 15 FEET MAX
SIDE YARD: 12.5 FEET
REAR YARD: 35 FEET

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
3. THE SUBJECT PROPERTY IS PREVIOUSLY DESCRIBED IN:
WARRANTY DEED (BOOK 19725, PAGE 133)
AND
WARRANTY DEED (BOOK 19725, PAGE 137).

A PART OF LOTS 2 AND 3, OFFICIAL PLAT OF THE E.1/2 OF THE S.E.1/4 OF SEC 34, T. 79, R.25, AN OFFICIAL PLAT AS SHOWN ON THE OLD OFFICIAL PLAT BOOK 1, PAGE 210, BEING IN THE CITY OF CLIVE, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, WARD'S INDUSTRIAL PARK, AN OFFICIAL PLAT; THENCE NORTH 89°05'15" EAST ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 289.83 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 01°00'24" EAST ALONG THE WEST RIGHT OF WAY LINE OF NW 86TH STREET, 294.39 FEET TO A CORNER ALONG THE NORTHERLY LINE OF OUTLOT 'A', CLIVE DEPOT PLAT NO. 1, AN OFFICIAL PLAT; THENCE SOUTH 89°05'15" WEST ALONG SAID NORTHERLY LINE, 289.83 FEET; THENCE NORTH 01°00'24" WEST ALONG SAID NORTHERLY LINE, 294.39 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.96 ACRES (85,325 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



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URBANDALE, IA 50322
PHONE: (515) 369-4400

REVIEW:

TECH:

ENGINEER:

CIVIL DESIGN ADVANTAGE

CLIVE JONES

DEHNER DISTILLERY PLAT 1

1
1
2310.697