



CLIVE PLANNING & ZONING COMMISSION

AGENDA, REGULAR MEETING

1900 NW 114th Street

November 7, 2024 5:30 PM

This meeting will be conducted in-person in the City Council Chambers and virtually via Zoom platform. To participate virtually use the following link: <https://us06web.zoom.us/j/89178956404>

Call to Order

Roll Call

Action Items

1. Approve 10/3/2024 Meeting Minutes
2. Site Plan Amendment - Tenant and Facade Updates - 10001 University Ave
3. Amendment to Zoning Ordinance - Commercial Permitted Uses (Schools)

Staff Report

Adjournment

Approval of Meeting Minutes



Staff Report

TO: Planning and Zoning Commission members

FROM:

Kelly Rivera, Administrative Specialist

DATE: November 7, 2024

RE: Approve 10/3/2024 Meeting Minutes

Attachments:

1. PZ Minutes 10_03_2024

CLIVE PLANNING AND ZONING COMMISSION MEETING MINUTES

Regular Session
October 3, 2024

This meeting was held in the Clive City Council Chambers and public access was provided in-person at City Hall and via Zoom. Information on how to access via Zoom was provided on the city's website and on the agenda. The recording of the meeting is available on the city's website at:

https://www.cityofclive.com/connect/boards_and_commissions/planning_and_zoning_commission.php

Call to Order/Roll Call

ALOWITZ CALLED THE MEETING TO ORDER AT 5:30 p.m.

PRESENT: JULIE CORREA, MARCIA HUNTER, CHRIS PANZI (5:34), JEFFREY ANDERZHON, MICHAEL ALOWITZ

ABSENT: LINDSAY BRANDON, MILLY ORTIZ-PAGAN

STAFF: GRUTZMACHER, PURVIS, RIVERA

Action Items

1. Approve Meeting Minutes – September 5, 2024

Correa motioned to approve the September 5, 2024 meeting minutes, seconded by Anderzhon

Roll Call: Ayes: Correa, Anderzhon, Hunter, Alowitz. Motion carried.

Panzi not available for vote.

2. Site Plan/Preliminary Plat – Country Club Glen Plat 13

The applicant requested approval to divide Lot 2 of Country Club Glen Plat 12 into two lots and one outlot to allow for the construction of a drive-thru coffee shop and a general retail/office use building. The outlot will be reserved for stormwater management.

A 2,450 sf drive-thru coffee shop with 547 sf patio is proposed for Lot 1. The building will be constructed of brick veneer with metal and wood cladding accents.

No tenants have been identified for Lot 2 but proposed building is a 4,280 sf, one-story building with brick veneer and EIFS and storefront glazing as secondary materials. The site will support a flex-use commercial building with 6/1000 sf parking requirement. Shared parking between Lots 1 and 2 will be included with the final plat.

Lonnie Waknitz, representing Country Club Pointe Townhomes Owners Association, addressed the Commission regarding concerns with headlight impacts to the residents to the north.

Steve Dahms, Casco Civil, stated the developer is willing to discuss with staff and make adjustments to the proposed plans.

Correa motioned to recommend approval of the Site Plan & Preliminary Plat for Country Club Glen Plat 13 subject to resolution of staff comments and submittal of legal documents, seconded by Anderzhon.

Roll Call: Ayes: Correa, Anderzhon, Hunter, Panzi, Alowitz. Motion carried.

3. Landscaping & Open Space Ordinance Update

Kathryn Purvis, Planner, presented the City's current landscape buffer requirements and observations by staff on challenges and potential updates. The City is shifting focus to redevelopment of existing sites since nearing built out. This has prompted staff to begin working on reviewing and updating the zoning ordinance. Currently, staff are working on the parking and landscape and open space chapters.

Redevelopment sites being brought into conformance with today's requirements can be daunting. Parking and landscaping measures often result in applicants requesting variances and approvals of incremental landscaping additions that do not fully meet the current ordinance requirements due to lack of space for the required plantings. Additionally, the health of new tree plantings has been in decline, requiring replanting, particularly regarding evergreen varieties which make up a majority of the current Landscape Buffer required plantings.

Commissioners offered the following comments:

Simplifying the ordinance is a good idea; it makes sense to eliminate rarely used ordinance sections or those that apply only to a small section of the City.

Not as concerned for the commercial areas of the City, but we need to be diligent with keeping residential buffers adequate.

We want the City to be beautiful, so if fewer trees within a buffer will improve the health of the plantings, that would be preferable. The Commission requested that further research be done to ensure impact from planting practices are taken into consideration.

Buffers when land uses are separated by a road are important on local streets; however, adjustments to requirements on arterial and collector roads could be appropriate.

The Commission questioned whether berms pose challenges for trees on the slope getting enough water.

4. Planning & Zoning Meeting Dates

After reviewing other dates per commissioners' preferences stated during the last meeting, it was determined that Tuesdays will work best and the meeting schedule was presented. Chris Panzi will be attending a portion of meetings via the Zoom platform due to personal commitments.

Staff Report

Adjournment at 6:20 p.m.



Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: November 7, 2024

RE: Site Plan Amendment - Tenant and Facade Updates - 10001 University Ave

GENERAL INFORMATION

Applicant: Civil Design Advantage, on behalf of Buyers Realty

Requested Action: Approval of Site Plan Amendment

Location: 10001 University Ave,
Lot 2, Valley Court Plat 1

LAND USES & ZONING			
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Property	Commercial - Retail/Services	Commercial - Retail/Services	C-4
North	Commercial - Retail/Services	Commercial - Retail/Services	C-4
East	Commercial - Retail/Services	Commercial - Retail/Services	C-4
South	Commercial - Retail/Services	N/A - West Des Moines	N/A
West	Commercial - Retail/Services	Commercial - Retail/Services	C-4

CASE HISTORY

2004 - Valley Court Plat 1 Final Plat Approved

2004 - Development Plan Approved

2006 - Site Plan Approved

BACKGROUND

The subject site is located at 10001 University Avenue and is approximately 1 acre. The existing building is 6,530 square feet and was constructed in 2006. Until October 2024, Beauty Brands salon and retail occupied the building as a single tenant. The applicant has a purchase agreement for the property and intends to divide the building to create two tenant spaces. Staff understands discussions with potential tenants are ongoing and the prospective tenants are a retail establishment and a fast casual restaurant with order pickup.

ANALYSIS

Building Design & Site Lighting

The building facade is proposed to be modified with a new parapet and updated brick to modernize the architectural design. The proposed materials are in conformance with the Development Standards Manual; however, the front facade is proposed to have

only 50% brick or masonry. The existing facade does provide 60% brick or masonry. There are currently three large areas of glass storefront which are to be maintained with minor revisions to entry locations. The existing storefront and fenestration proportions lend themselves well to a one or three tenant building, but maintaining 60% masonry across two tenant spaces with the updated parapet design is aesthetically challenging. Staff believes the intent of the Development Standards Manual is being met with the proposed changes and recommends approval with the deviation to 50% brick or masonry on the front/south facade.

The existing light standard near the east parking lot entrance will be relocated approximately 20 feet northeast to accommodate the proposed drive through. Site lighting is existing and will not otherwise be updated.

Site Layout & Circulation

The applicant is proposing to construct a drive through to facilitate order pickup from the fast casual restaurant; however, no orders will be placed through the drive through and no menu boards are proposed. To allow for the restaurant use and provide additional flexibility on uses for the site, additional parking is proposed to be constructed in the east portion of the parking lot. The proposed parking conforms to the parking requirement of 6 spaces per 1,000 SF of GFA for a flex space building. The proposed parking addition will be located over the existing property line, and in order to remain in compliance with setback requirements, a final plat will be submitted adjusting the east property line to approximately the existing private drive curb. The neighboring property involved in the final plat is under the same ownership as the applicant, though the subject site may be held under a different LLC. Due to timing of the purchase agreement and acquisition, it was not feasible for the applicant to provide all the necessary legal documents for the final plat to adjust the property line prior to site plan amendment approval; however, the final plat will be approved and recorded prior to issuance of Certificates of Occupancy for the new tenant spaces.

Landscaping & Stormwater Management

Site landscaping will be updated to restore the site to the originally required 16 trees. The relocated dumpster enclosure and drive through requires removal of three existing trees. The tree quantity will be replaced on-site; however, there is not sufficient open space to also replace the removed caliper of tree. Approximately 35" of tree caliper is being removed, and 11.5" of tree caliper is being replanted. The City has allowed for payment in lieu of replacement of additional caliper when space limitations exist and staff recommends a payment in lieu for the remaining 23.5" of caliper of removed trees. The applicant has provided a cost for the additional tree purchases.

With the incremental improvements on the site, full compliance with the Post-Construction Stormwater Management Manual is not required. A contech inlet protection basket will be installed on the storm intake near the dumpster enclosure and drive through to provide additional water quality treatment and prevent solids and debris from entering the storm system.

Utilities

Utility services to the building will not be impacted. Utilities will be split internally to serve the two tenant spaces. A grease interceptor will be added west of the building to

support a restaurant use.

PUBLIC COMMENT

Notice was sent to the surrounding property owners within 310-feet of the subject site on October 30, 2024. To date, staff has not received any public comments.

STAFF RECOMMENDATION

Staff recommends approval of the site plan amendment and all staff comments have been addressed.

Attachments:

1. Review Comment Letters
2. Notice Letter and Mail List
3. 10001 University Site Plan Amendment
4. 10001 University Exterior Elevations



October 11, 2024

Doug Mandernach
4121 NW Urbandale Drive
Urbandale, IA 50322

Re: 10001 UNIVERSITY AVE - drive through and parking addition - Site Plan Amendment

The Community Development Department is in receipt of an application for Site Plan Amendment for the proposed drive through and parking addition located at 10001 UNIVERSITY AVE. Based on the review of the provided submittal materials, staff have the following comments:

- **Architectural and Building Specifications:**

1. Staff appreciates the additional brick added to the south elevation and recognizes the challenge in providing an aesthetically pleasing facade update meeting the 60% masonry requirement across two tenant spaces (as opposed to one or three due to the building dimensions and existing fenestration). Staff believes the intent of the architectural standards are being met and will recommend approval with the deviation of primary materials to 50% on the south facade.

- **Cover Page/General:**

1. Revise the legal description to identify the area to be platted into the lot. Final plat will require full metes and bounds legal description. Please include a metes and bounds legal for the portion of Lot 1 that will be platted into this site.

- **Dimension Plan:**

1. Identify the 5' parking lot setback along the private drive. Staff did not locate the setback.

- **Grading/Topography Plan:**

1. Add a note to maintain a minimum 5.5' of cover for the existing water main and service line. Staff did not locate the note.

- **Landscape Plan:**

1. Approximately 35" of tree caliper is being removed and 11.5" of tree caliper is being replanted, leaving 23.5" of caliper left to be addressed. Provide a cost estimate for 23.5" of trees so staff can verify the amount to be paid to the City for replacements elsewhere.

Based on the satisfactory resolution of the above items and resubmittal of the Site Plan Amendment prior to 10/21/2024, it is anticipated that the project would be placed on the 11/07/2024, Planning and Zoning Commission agenda. Please feel free to contact me on the portal or at 515-223-6221 if you have questions or need additional information.

Sincerely,

A handwritten signature in cursive script that reads "Amanda Grutzmacher". Below the signature, there is a small, faint rectangular stamp or watermark.

Amanda Grutzmacher

Senior Planner



October 04, 2024

Doug Mandernach
4121 NW Urbandale Drive
Urbandale, IA 50322

Re: 10001 UNIVERSITY AVE - drive through and parking addition - Site Plan Amendment

The Community Development Department is in receipt of an application for Site Plan Amendment for the proposed drive through and parking addition located at 10001 UNIVERSITY AVE. Based on the review of the provided submittal materials, staff have the following comments:

- **Architectural and Building Specifications:**

1. Add the dumpster enclosure to the architectural elevations. Specify materials matching the building.
2. Revise the south and east elevations to include a minimum of 60% primary material. EIFS is not a primary material. Refer to the Architectural Standards section of the Clive Development Standards Manual at https://cms9files.revize.com/cliveia/services/community_development/Planning%20Services/Clive%20Development%20Standards%20Manual%20III.pdf.

- **Cover Page/General:**

1. Please add the Clive Standard Notes to the plan set. Refer to the Appendix D of the Clive Development Standards Manual at https://cms9files.revize.com/cliveia/services/community_development/Planning%20Services/Clive%20Development%20Standards%20Manual%20III.pdf.
2. Ensure property owner reflects the current owner at time of site plan amendment approval. Currently lists the expected owner (Buyers Realty), which may need to be updated depending on anticipated closing date.
3. Revise the legal description to identify the area to be platted into the lot. Final plat will require full metes and bounds legal description.

- **Delayed Submittal:**

1. The proposed parking addition requires an adjustment to the property line to conform with setback requirements. Proposed ownership of the subject property is the same entity as the adjacent property; therefore, staff will recommend approval of the site plan amendment with condition that no certificates of occupancy shall be issued until the final plat adjusting the property lines is approved and recorded.

- **Dimension Plan:**

1. Adjust the corner of the north sidewalk and drive-through intersection OR verify existing sidewalk pavement is sufficient to withstand regular vehicle crossing and no elevation change exists.
2. Clearly identify the existing property line and clearly label the proposed property line.
3. Adjust the railing around the patio to be setback at least 2' from the edge of the parking stall to accommodate vehicle door swing OR adjust parking stall striping to maintain a 12' stall width.
4. Identify pre-treatment/permanent protection to be installed for the intake near the dumpster enclosure.
5. Identify the 5' parking lot setback along the private drive.
6. Update the relocated pole light label to reflect "Parking Lot Light" and label the mounting height. Additionally, indicate either (1) fixture to match existing or (2) the manufacturer and model number for the proposed light fixture.
7. Identify the water, sanitary, and storm easement at Book 5473 Page 697.
8. The proposed use requires an exterior grease interceptor; identify location on the site plan amendment. Contact Jason Merk with the WRA at JMERK@DMGOV.ORG for additional information on sizing requirements.
9. Drive thru median must be a curbed island, not painted.

- **Grading/Topography Plan:**

1. Add a note to maintain a minimum 5.5' of cover for the existing water main and service line.

- **Landscape Plan:**

1. Update the landscape plan to include plantings in the drive thru island. Tree plantings are not required in this location.
2. Approximately 35" of tree caliper is being removed. Identify replacement tree plantings on-site, as space allows. Remaining tree caliper that cannot feasibly be replaced on-site may be paid to the City for replacements elsewhere.
3. Update landscape note #5 to only include sod.
4. At the time of initial development, the site had 16 trees. Update the landscaping plan to identify at least 16 trees between existing and proposed plantings.

- **Review Comment:**

1. Construction plans will be needed for the building work. To include structural plans for the addition.
2. Final addressing of suite numbers to be approved by the Fire Marshal. Recommend suite 100 and 120
3. Address numbers to be located on the exterior of the building. Size and location need to be approved by the Fire Marshal.

agenda. Please feel free to contact me on the portal or at 515-223-6221 if you have questions or need additional information.

Sincerely,

A handwritten signature in cursive script that reads "Amanda Grutzmacher". Below the signature, there is a small, faint, rectangular stamp or watermark.

Amanda Grutzmacher

Senior Planner



October 30, 2024

Re: 10001 UNIVERSITY AVE - Site Plan Amendment

Dear Property Owner:

Civil Design Advantage, on behalf of Buyers Realty, has submitted a Site Plan Amendment to the City of Clive to construction a drive through and parking addition located at 10001 University Ave.

The Clive Planning and Zoning Commission will tentatively receive public input on this application during their meeting at 5:30 p.m., Nov 07, 2024. You may attend this meeting in person in the **Public Safety Facility Training Room at 8800 Hickman Road**, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. Meeting agendas are available on the City's website at http://www.cityofclive.com/connect/boards_and_commissions/

As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by virtually attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Clive, City Planner, 1900 NW 114th Street, Clive, IA 50325 or by email at the address below.

Following the Planning and Zoning Commission's review and recommendation, the City Council will make a determination on this application. The public meeting has been tentatively scheduled for 6:00 p.m., on Nov 14, 2024. You may attend this meeting in person at the City Council Chambers at 1900 NW 114th Street, Clive, IA 50325, or virtually via Zoom. Zoom Meeting ID and call-in number will be published on the agenda for the meeting. City Council meeting agendas are available on the City's website at http://www.cityofclive.com/connect/city_council/

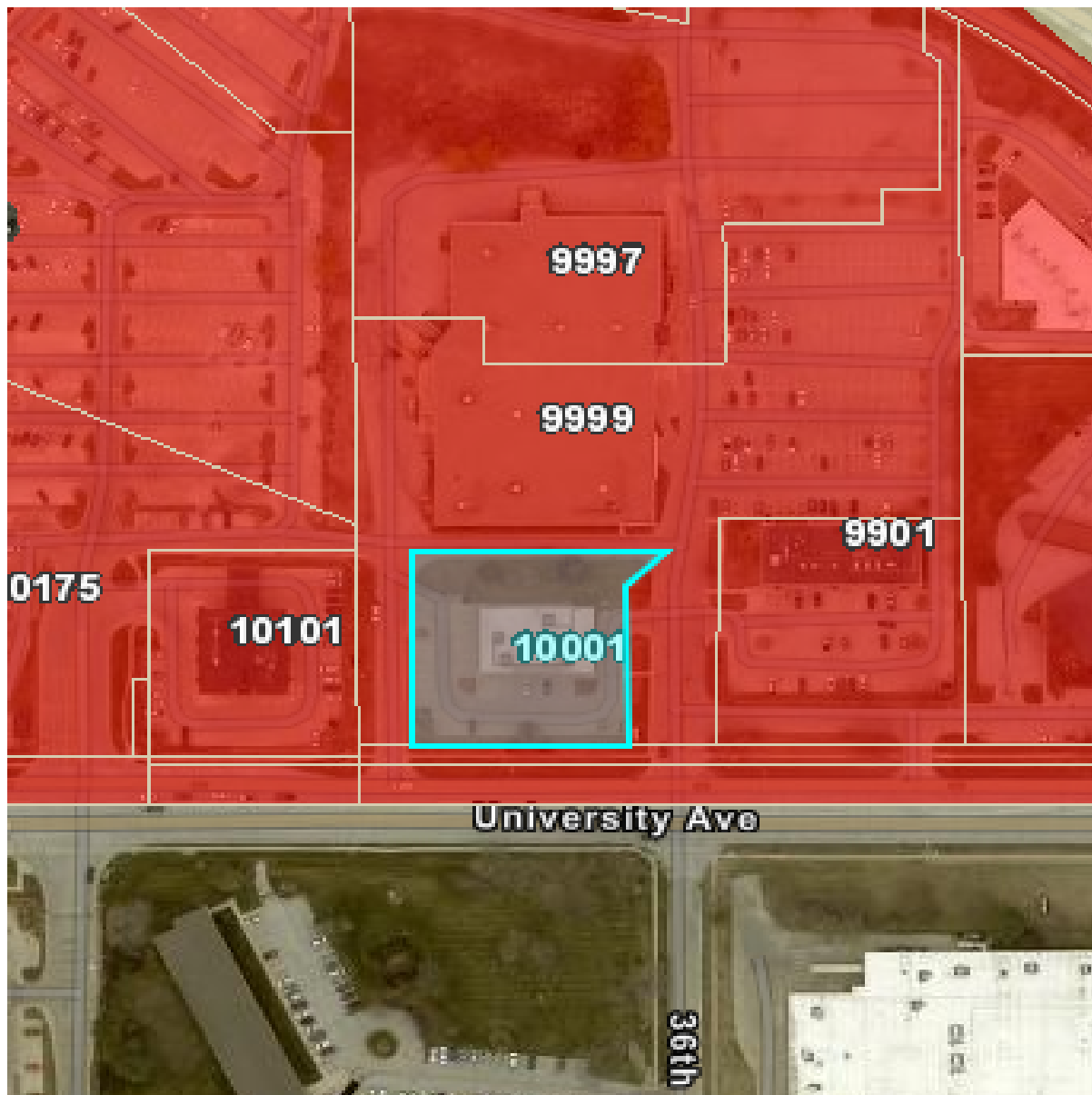
If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council's meeting. If you have any questions concerning this application or if you would like additional information, please call the Community Development Department at (515) 223-6221.

Sincerely,

Amanda Grutzmacher

AGRUTZMACHER@CITYOFCLIVE.COM

LOCATION MAP



KNAPP PROPERTIES
5000 WESTOWN PKWY STE 400
WEST DES MOINES, IA 50266-5921

USA, HOME DEPOT
PO BOX 105842
ATLANTA, GA 30348-5842

PROLOGUE PROPERTIES LLC
4600 MADISON AVE STE 1500
KANSAS CITY, MO 64112-3016

VALLEY WEST APARTMENTS LLC
1125 S 103RD ST STE 130
OMAHA, NE 68124-1071

TARGET CORPORATION T-0069
PO BOX 9456
MINNEAPOLIS, MN 55440-9456

GREAT WESTERN BANK
225 S MAIN AVE
SIOUX FALLS, SD 57104-6309

BUYERS REALTY
4350 WESTOWN PKWY STE 100
WEST DES MOINES, IA 50266-1052

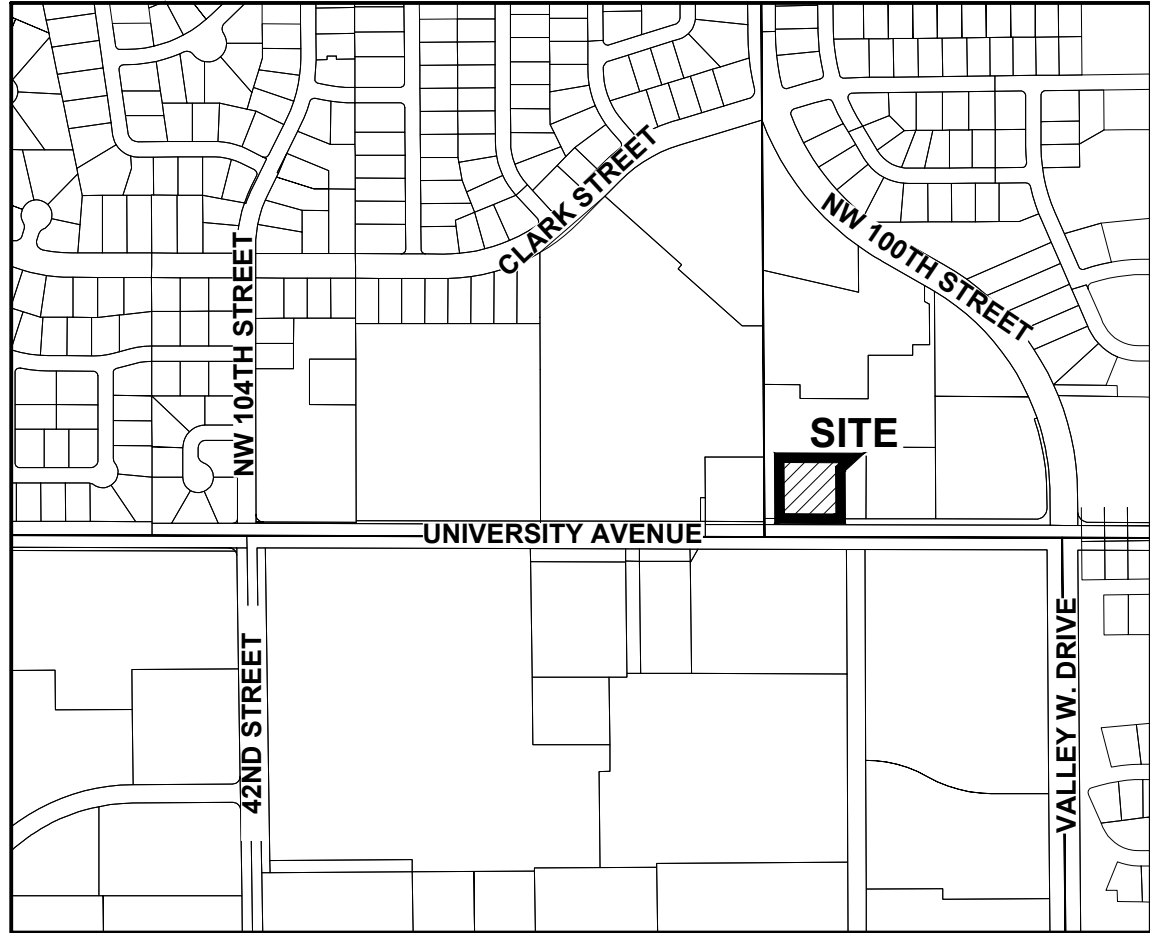
NORWEST BANK DES MOINES
PO BOX 2609
CARLSBAD, CA 92018-2609

IHWOP LLC
4350 WESTOWN PKWY STE 100
WEST DES MOINES, IA 50266-1052

VALLEY COURT DEVELOPMENT LLC
4350 WESTOWN PKWY STE 100
WEST DES MOINES, IA 50266-1052

SITE PLAN FOR:
10001 UNIVERSITY
CLIVE, IOWA

VICINITY MAP
NOT TO SCALE



CLIVE, IOWA

OWNER

PROLOGUE PROPERTIES LLC
4600 MADISON AVE STE 1500
KANSAS CITY, MO 64112-3016
CONTACT: TERRI MEYER

DEVELOPER

BUYERS REALTY
4350 WESTOWN PARKWAY, STE. 100
WEST DES MOINES, IA 50266
CONTACT: RON DANIELS
EMAIL: RON.DANIELS@BUYERSREALTYINC.COM
PH: (515) 277-4000

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: DOUG MANDERNACH
EMAIL: DOUGM@CDA-ENG.COM
PH. (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

ARCHITECT

SIMONSON & ASSOCIATES
1717 INGERSOLL AVE STE. #117
DES MOINES, IA 50309
CONTACT: TODD WISKUS
EMAIL: TWISKUS@SIMONSONASSOC.COM
PH: (515) 440-5626

SUBMITTAL DATES

FIRST SUBMITTAL: 09/27/2024
SECOND SUBMITTAL: 10/09/2024
THIRD SUBMITTAL: 10/28/2024

LEGAL DESCRIPTION

ALL OF LOT 2, VALLEY COURT PLAT 1, AND A PART OF LOT 1, VALLEY COURT PLAT 2, BOTH BEING OFFICIAL PLATS IN THE CITY OF CLIVE, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00°03'33" WEST ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 198.32 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE NORTH 89°51'32" EAST ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 236.86 FEET TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 44°49'15" WEST ALONG THE EASTERLY LINE OF SAID LOT 2, A DISTANCE OF 12.67 FEET; THENCE SOUTH 00°26'42" WEST, 190.59 FEET TO THE NORTH RIGHT OF WAY LINE OF UNIVERSITY AVENUE; THENCE NORTH 89°49'52" WEST ALONG SAID NORTH RIGHT OF WAY LINE, 226.25 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.04 ACRES (45,223 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

C-4 - PLANNED SHOPPING CENTER COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

10001 UNIVERSITY AVE.
CLIVE, IA 50325

EXISTING/ PROPOSED USE

EXISTING - GENERAL RETAIL

PROPOSED - FLEX SPACE

DEVELOPMENT SUMMARY

AREA: 1.04 ACRES (45,223 SF)

ZONING: C-4

SETBACKS:

FRONT: 60 FEET
SIDE: 25 FEET
REAR: 35 FEET

OPEN SPACE CALCULATION:

TOTAL SITE: = 45,223 (1.04 AC.)
BUILDING = 6,530 SF
PARKING AREAS = 6,769 SF
DRIVEWAYS = 14,661 SF
PATIO = 598 SF
SIDEWALK = 1,996 SF
OPEN SPACE PROVIDED = 14,671 SF (32.4%)

PARKING:

TOTAL REQUIRED = 6 SPACES PER 1,000 SF GFA
= 6 x 6.50
= 39 SPACES (2 ACCESSIBLE)
TOTAL PROVIDED = 40 SPACES (2 ACCESSIBLE)

DATE OF SURVEY

09/24/2024

BENCHMARKS

- CITY OF CLIVE STANDARD BM #10
LOCATED SE OF THE CURVE TRANSITIONING CLARK ST TO NW 97TH STREET BETWEEN THE SIDEWALK AND BACK OF CURB.
ELEV.=866.185
- CITY OF CLIVE STANDARD BM #11
LOCATED WITHIN THE ROUNDABOUT AT THE INTERSECTION OF NW 102ND STREET AND CLARK STREET.
ELEV.=956.093

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = 10/15/2024
ANTICIPATED FINISH DATE = 05/15/2025

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1	DETAILS AND STANDARD NOTES
C2.1	TOPOGRAPHIC AND DEMOLITION PLAN
C3.1	DIMENSION PLAN
C4.1	GRADING PLAN
C5.1	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROPERTY BOUNDARY
SECTION LINE
CENTER LINE
RIGHT OF WAY
BUILDING SETBACK
PERMANENT EASEMENT
TEMPORARY EASEMENT

TYPE SW-501 STORM INTAKE

TYPE SW-502 STORM INTAKE

TYPE SW-503 STORM INTAKE

TYPE SW-505 STORM INTAKE

TYPE SW-506 STORM INTAKE

TYPE SW-512 STORM INTAKE

TYPE SW-513 STORM INTAKE

TYPE SW-401 STORM MANHOLE

TYPE SW-402 STORM MANHOLE

FLARED END SECTION

TYPE SW-301 SANITARY MANHOLE

STORM/SANITARY CLEANOUT

WATER VALVE

FIRE HYDRANT ASSEMBLY
SIGN

DETECTABLE WARNING PANEL

WATER CURB STOP

SANITARY SEWER

SANITARY SERVICE

STORM SEWER

STORM SERVICE

WATERMAIN WITH SIZE

WATER SERVICE

SAWCUT (FULL DEPTH)

SILT FENCE

USE AS CONSTRUCTED

MINIMUM PROTECTION ELEVATION

TOP OF WALL

FORM GRADE OF WALL

--- R/W ---
--- P/E ---
--- T/E ---

--- S --- S --- S ---

--- ST --- ST ---

--- 8"W ---

--- W --- W ---

--- TV ---

--- G ---

--- FO ---

--- T ---

--- OE ---

--- E ---

--- TILE ---

--- 8"S ---

--- 15"ST ---

--- 8"W ---

EXISTING

SANITARY MANHOLE

WATER VALVE BOX

FIRE HYDRANT

WATER CURB STOP

WELL

STORM SEWER MANHOLE

STORM SEWER SINGLE INTAKE

STORM SEWER DOUBLE INTAKE

FLARED END SECTION

DECIDUOUS TREE

CONIFEROUS TREE

DECIDUOUS SHRUB

CONIFEROUS SHRUB

ELECTRIC POWER POLE

GUY ANCHOR

STREET LIGHT

POWER POLE W/ TRANSFORMER

UTILITY POLE W/ LIGHT

ELECTRIC BOX

ELECTRIC TRANSFORMER

ELECTRIC MANHOLE OR VAULT

TRAFFIC SIGN

TELEPHONE JUNCTION BOX

TELEPHONE MANHOLE/VAULT

TELEPHONE POLE

GAS VALVE BOX

CABLE TV JUNCTION BOX

CABLE TV MANHOLE/VAULT

MAIL BOX

BENCHMARK

SOIL BORING

UNDERGROUND TV CABLE

GAS MAIN

FIBER OPTIC

UNDERGROUND TELEPHONE

OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

FIELD TILE

SANITARY SEWER W/ SIZE

STORM SEWER W/ SIZE

WATER MAIN W/ SIZE



UTILITY WARNING

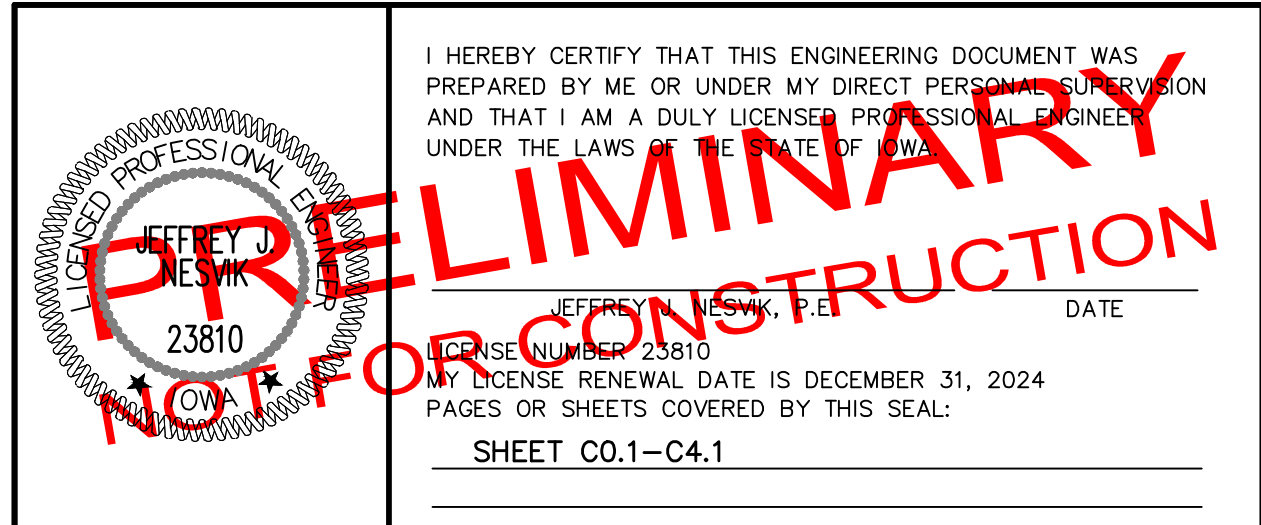
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



THE PROJECT REQUIRES A CITY OF CLIVE GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

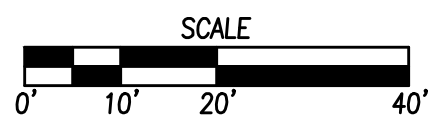
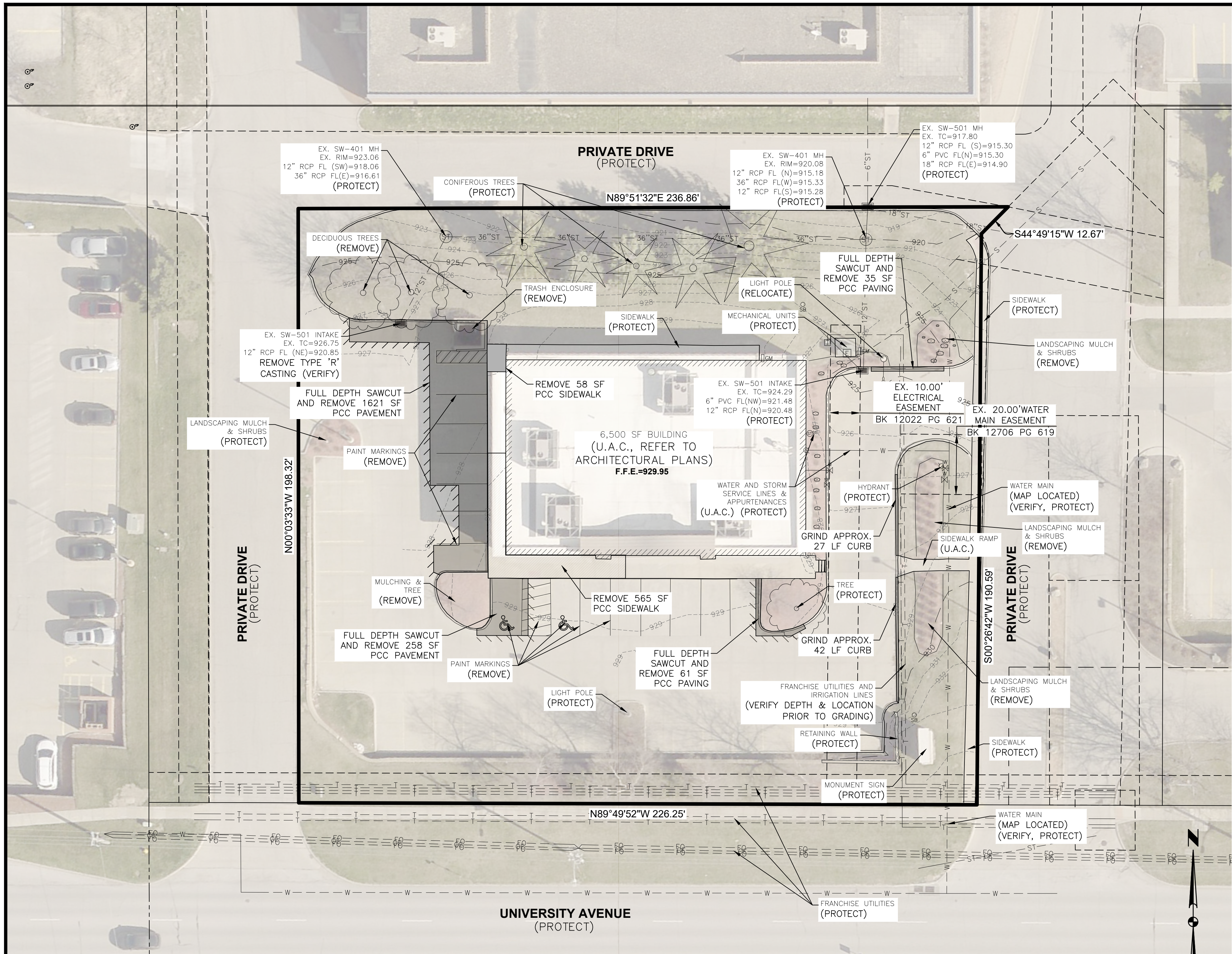
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.





1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLIVE'S DEVELOPMENT REGULATIONS, POLICIES, AND STATEWIDE URBAN DESIGN AND STANDARDS MANUAL (SUDAS).
2. ONE WEEK PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF CLIVE.
3. THE CONTRACTOR AND DEVELOPER'S ENGINEER SHALL ATTEND A REQUIRED PRECONSTRUCTION WITH THE CITY PUBLIC WORKS AND ENGINEERING DEPARTMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL SANITARY SEWER, SUMP AND WATER MAIN SERVICES AND VERIFYING LOCATIONS ON THE ASBUILT DRAWINGS.
6. RECONNECT ANY FIELD TILE THAT IS INTERCEPTED DURING UTILITY CONSTRUCTION, LOCATION OF FIELD TILE SHALL BE NOTED ON THE AS-BUILT DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD.
8. PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS, AS-BUILT RECORD DRAWINGS (HORIZONTAL AND VERTICAL AS-BUILT DATA IN STATE PLANE COORDINATES AND NAVD 88 DATUM) FOR ALL WATER, SANITARY SEWER, STORM SEWER PIPING AND ASSOCIATED APPURTENANCES, AND SITE GRADING WILL BE PROVIDED (VOLUME CALCULATIONS FOR ALL STORM WATER DETENTION FACILITIES SHALL ALSO BE PROVIDED).
9. SIDEWALK AND DRIVEWAY APPROACH INSTALLATIONS SHALL BE INSPECTED BY THE CITY OF CLIVE FOLLOWING A MINIMUM 48-HOUR NOTICE.
10. THE OWNER/CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
11. AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED ON CITY OF CLIVE RIGHT-OF-WAY.
12. THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
13. OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR CREWS AND EQUIPMENT.
14. ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF CLIVE INSPECTORS BASED ON ACTUAL FIELD CONDITION.
15. PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY/FINAL PLAT APPROVAL, ALL UTILITY STRUCTURES, MANHOLES, VALVES, INTAKES SHALL BE RAISED LEVEL WITH FINISH GRADE.
16. ALL UTILITIES, INCLUDING ELECTRICAL AND TELEPHONE SHALL BE LOCATED UNDERGROUND.
17. ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHER LANDSCAPING IS IDENTIFIED ON THE SITE PLAN.
18. EXISTING LANDSCAPING SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE DURING CONSTRUCTION.
19. ALL TRASH DUMPSTERS SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE.
20. ALL ROOF MOUNTED MECHANICAL UNITS AND/OR TELECOMMUNICATION DEVICES OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE OR LANDSCAPING.
21. ALL TOPSOIL MUST MEET CLIVE POST-CONSTRUCTION STORM WATER MANUAL. TOPSOIL SHALL BE MINIMUM 4" DEPTH, MINIMUM [2, OR AS INDICATED IN SWMP] % ORGANIC CONTENT, 6.0-8.0 PH, MAXIMUM 25% FRIABLE CLAY CONTENT, AND FREE OF DEBRIS, HARD CLODS, ROOTS, SOD, STIFF CLAY, HARD PAN, AND STONES LARGER THAN 1".
22. ALL TOPSOIL MUST MEET IOWA DEPARTMENT OF NATURAL RESOURCES GENERAL PERIT #2 REQUIREMENTS TO MINIMIZE SOIL COMPACTION, DEFINED AS WORKING THE SOIL PRIOR TO SEEDING/SODDING SUCH THAT A PENETROMETER CAN BE INSERTED INTO THE UPPER 6 INCHES WITH LESS FORCE THAN 200 PSO. AS AN ALTERNATIVE TO THE PENETROMETER TEST, A SOIL WITH BULK DENSITY LESS THAN 1.49 GRAMS/CUBIC CENTIMETER SHALL BE DEEMED COMPLIANT WITH THIS REQUIREMENT.
23. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
24. NO CHANGES TO THE APPROVED PLAN MAY BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF CLIVE.
25. CONTRACTOR, FINANCING AND/OR PROJECT IDENTIFICATION SIGNS SHALL NOT BE INSTALLED ON THE CITY OF CLIVE RIGHT-OF-WAY.
26. VALVES INCLUDED IN STORMWATER MANAGEMENT FACILITIES SHALL BE CLOSED AT THE TIME OF FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY/APPROVAL OF FINAL PLAT.



GENERAL NOTES

1. THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

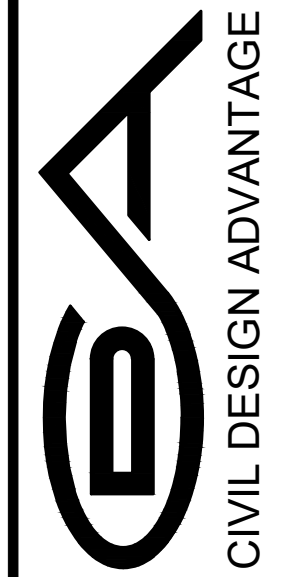
DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE TO THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY OF CLIVE
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
11. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

REVISIONS		DATE
SECOND SUBMITTAL		10/09/2024
FIRST SUBMITTAL		09/27/2024

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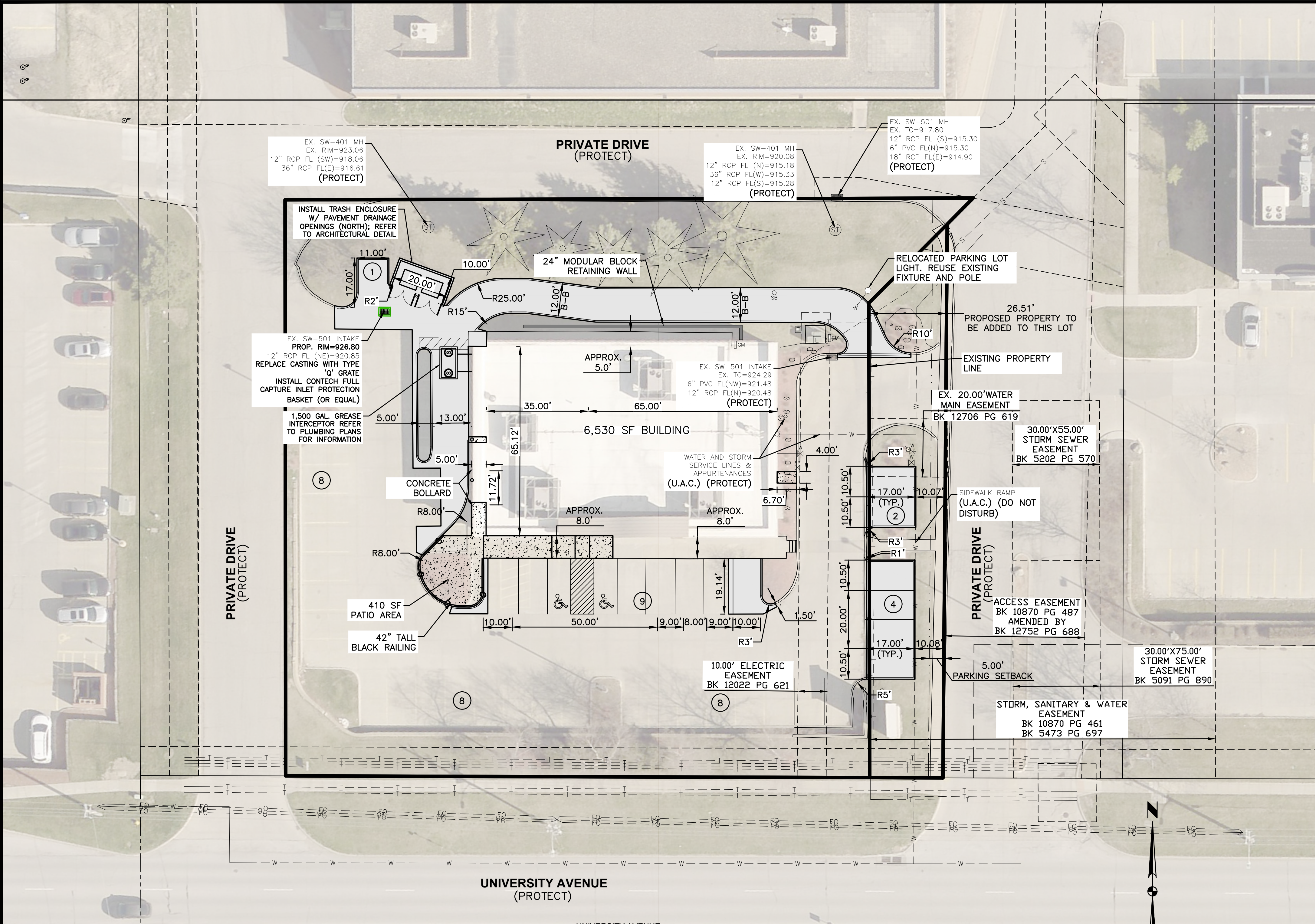
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TOPOGRAPHIC AND DEMOLITION PLAN

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SUMMARY OF IMPERVIOUS AREAS

PAVEMENT REMOVAL:	2,563 SF
PAVEMENT REPLACEMENT:	2,101 SF
PROPOSED PAVEMENT AREAS:	3,865 SF
PROPOSED BUILDING AREA INCREASE:	30 SF
TOTAL IMPERVIOUS IMPROVEMENTS (NEW + REPLACED) =	8,559 SF

DATE

10/09/2024

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CIVIL DESIGN ADVANTAGE

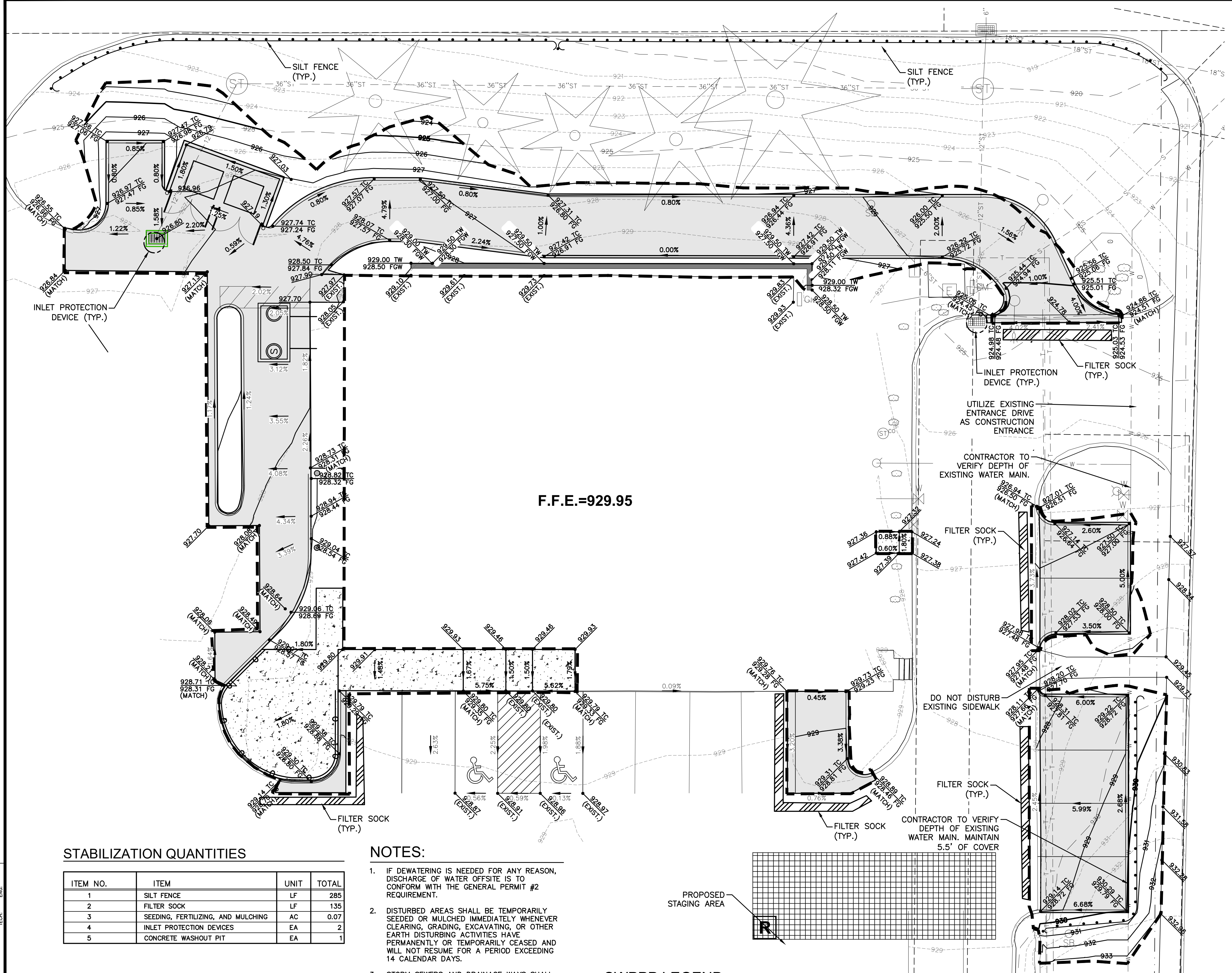
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DIMENSION PLAN

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STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	285
2	FILTER SOCK	LF	135
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.07
4	INLET PROTECTION DEVICES	EA	2
5	CONCRETE WASHOUT PIT	EA	1

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

DISCHARGE POINT SUMMARY

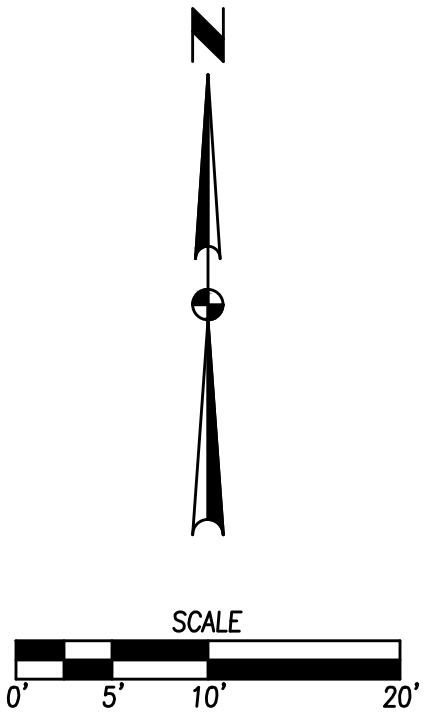
DISCHARGE POINT #1 TO WALNUT CREEK ±4,000 FT	0.18 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	648 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (135 LF @ 2.0 CU FT/LF OF SOCK)	270 CU FT
VOLUME PROVIDED IN SILT FENCE (285 LF @ 4.5 CU FT/LF OF FENCE)	1,283 CU FT
TOTAL VOLUME PROVIDED	1,553 CU FT

SWPPP LEGEND

GRADING LIMITS	-----	AREA TO BE SEED	
FILTER SOCK	=====	UNDISTURBED AREA	=====
SILT FENCE		STAGING AREA	=====
INLET PROTECTION	○	CONCRETE WASHOUT PIT	=====
PORTABLE RESTROOM	R		

GRADING NOTES

- PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.



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10001 UNIVERSITY
GRADING PLAN

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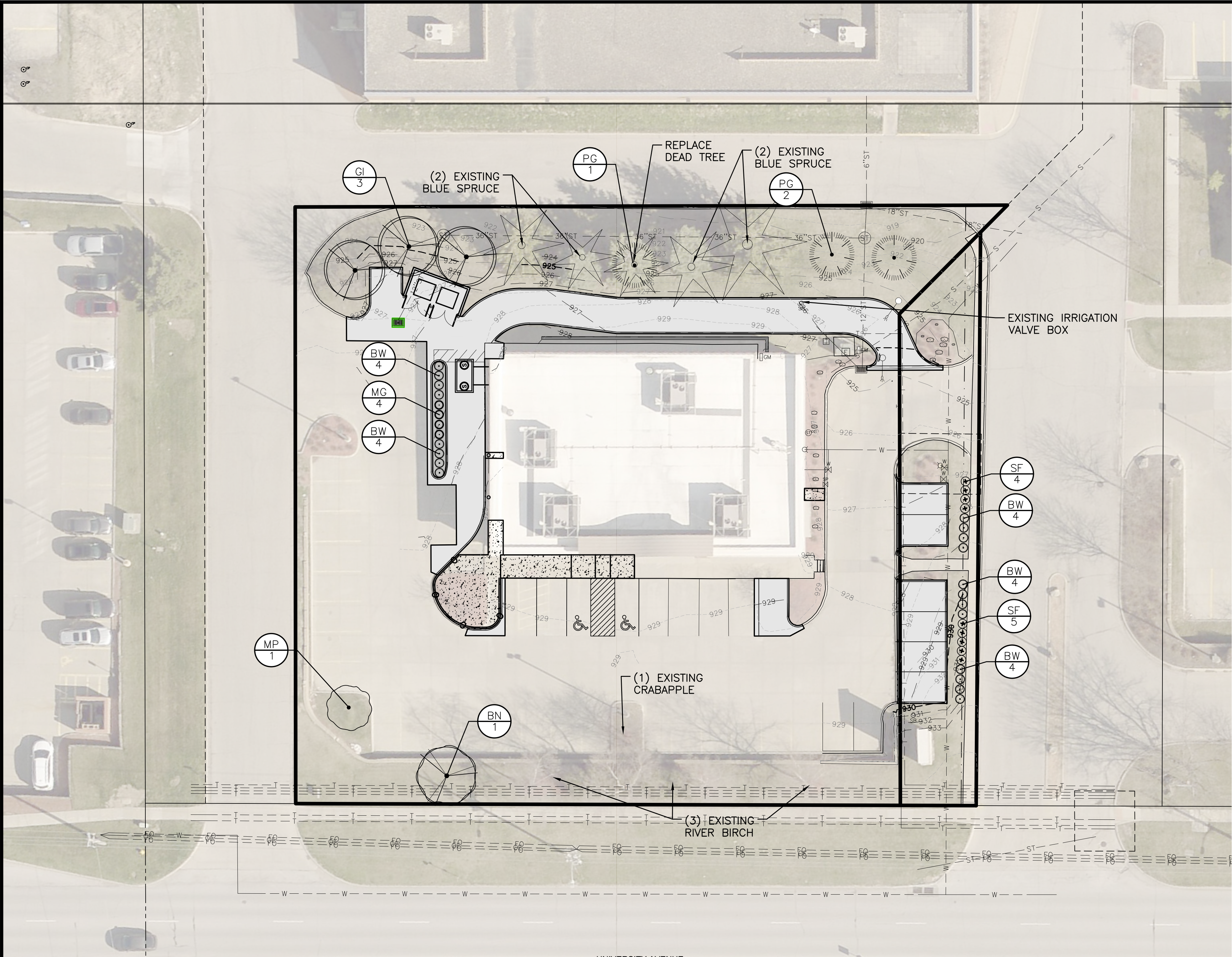
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CIVIL DESIGN ADVANTAGE

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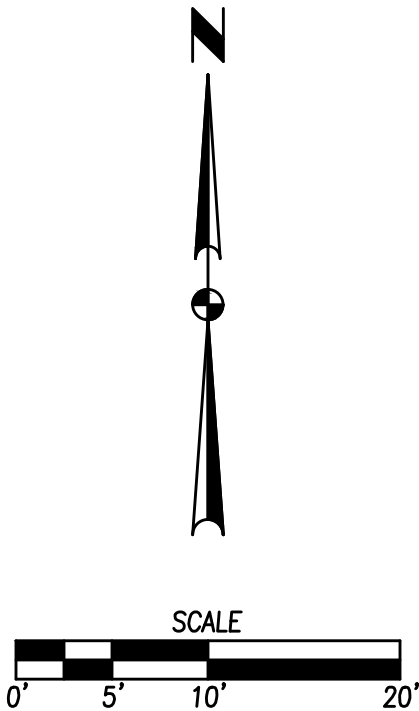


PLANT SCHEDULE

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
PG	3	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6' HEIGHT
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
GI	3	Impcole Honeylocust	Gleditsia triacanthos 'Impcole' TM	B&B, 1.5" CALIPER
BN	1	River Birch	Betula nigra	B&B, 1.5" CALIPER
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
MP	1	Prairifire Crab Apple	Malus x 'Prairifire'	B&B, 1.5" CALIPER
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BW	20	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	5 GAL
SF	9	Frobel Spirea	Spiraea x bumalda 'Froebelii'	5 GAL
MG	4	Maiden Grass	Miscanthus sinensis 'Gracillimus'	3 GAL

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING IRRIGATION LINES AND EQUIPMENT PRIOR TO CONSTRUCTION. REMOVE AND RELOCATE AS REQUIRED.



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CIVIL DESIGN ADVANTAGE

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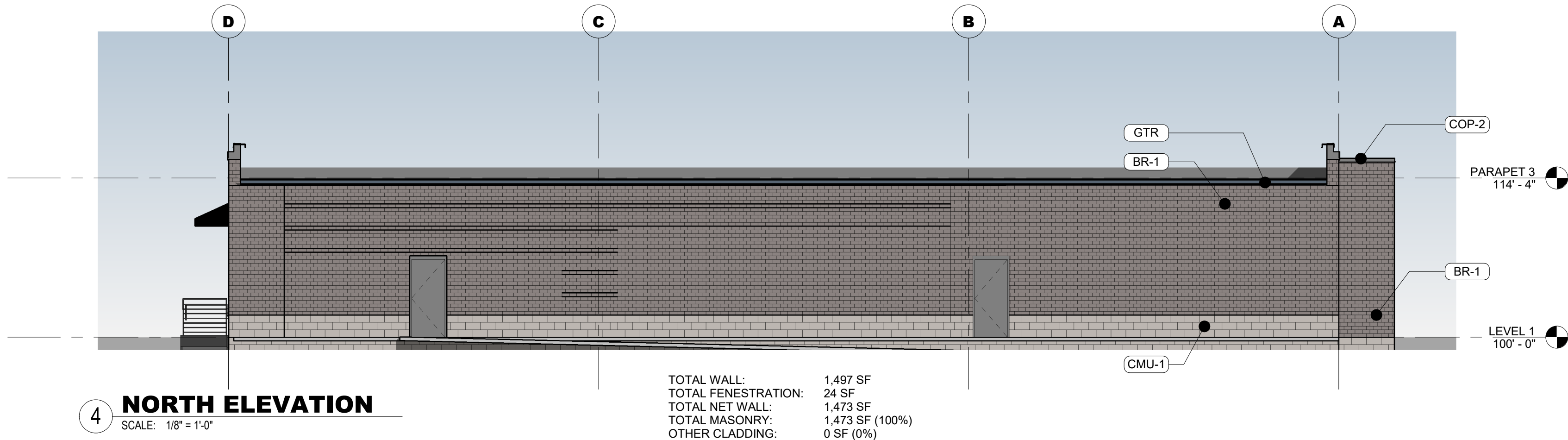
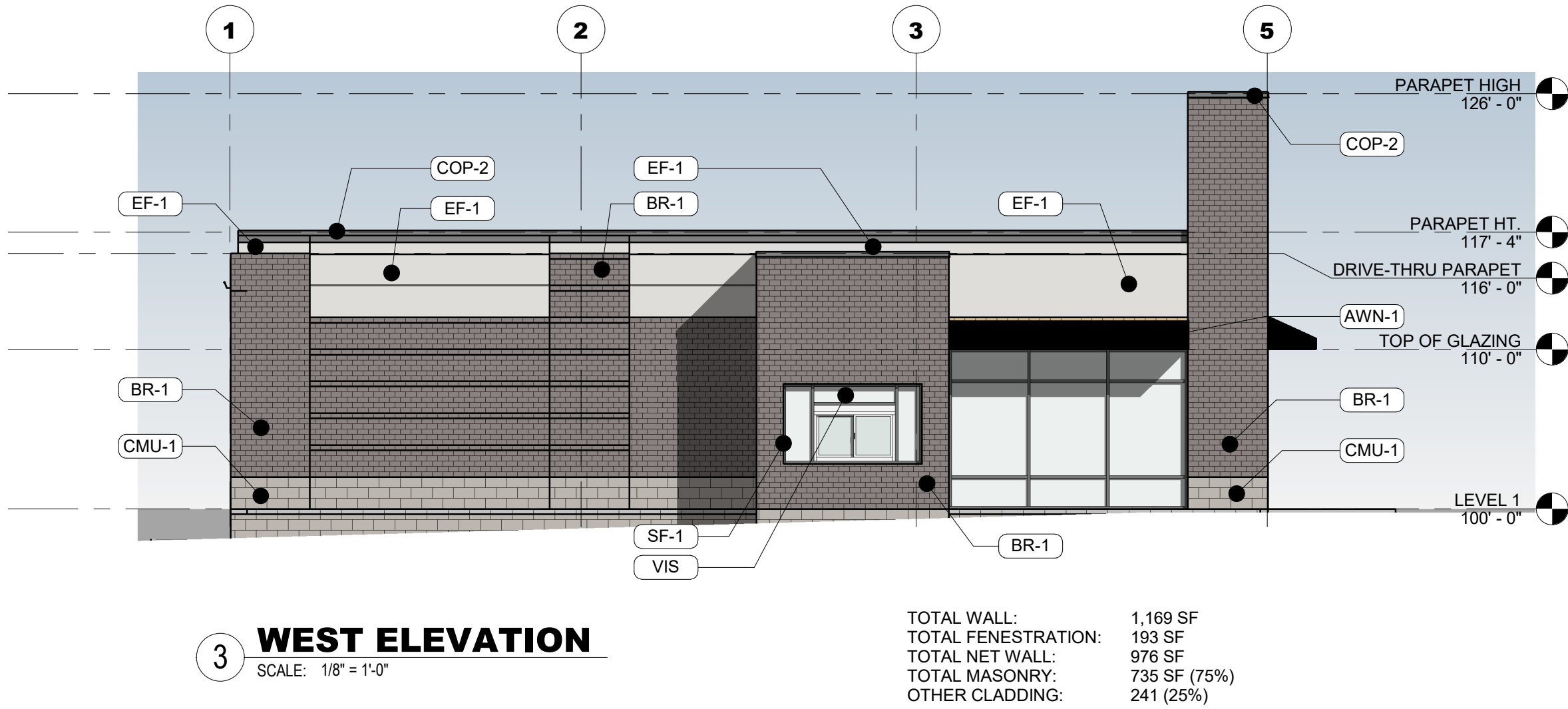
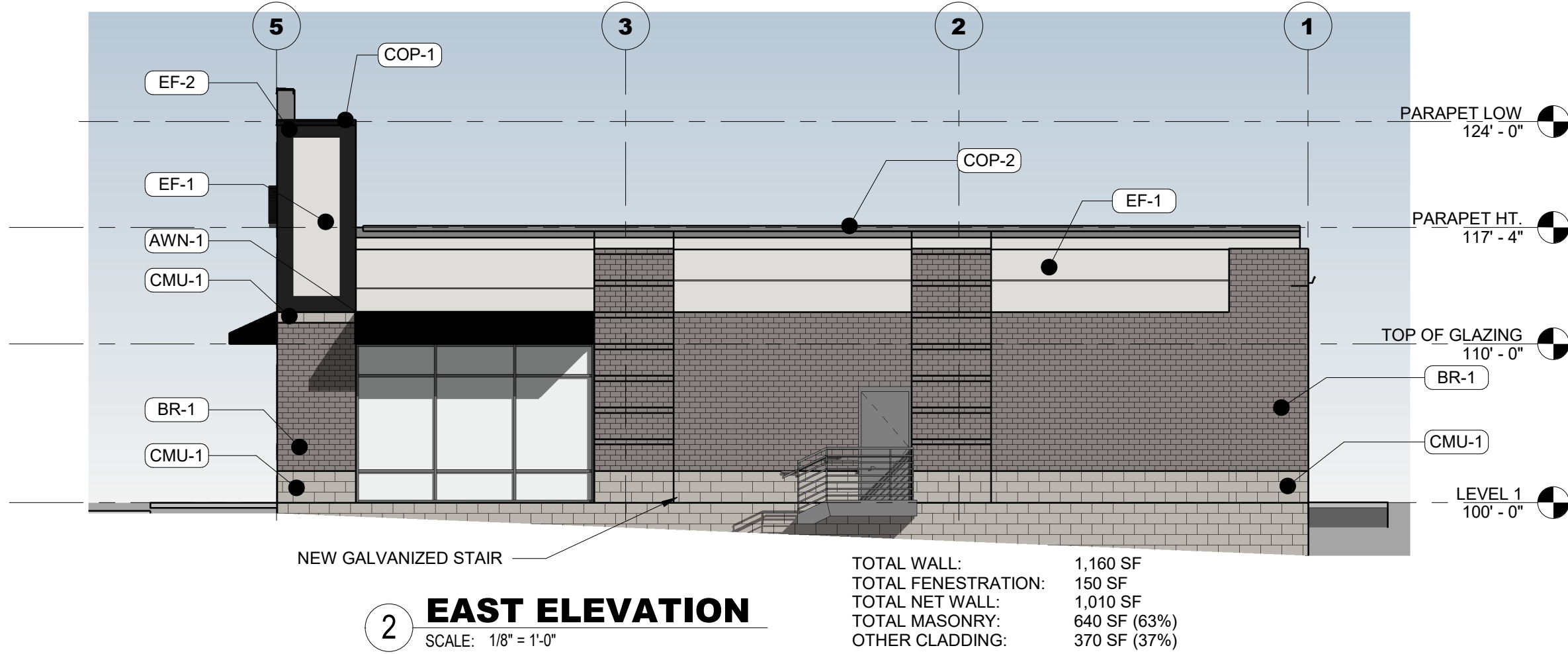
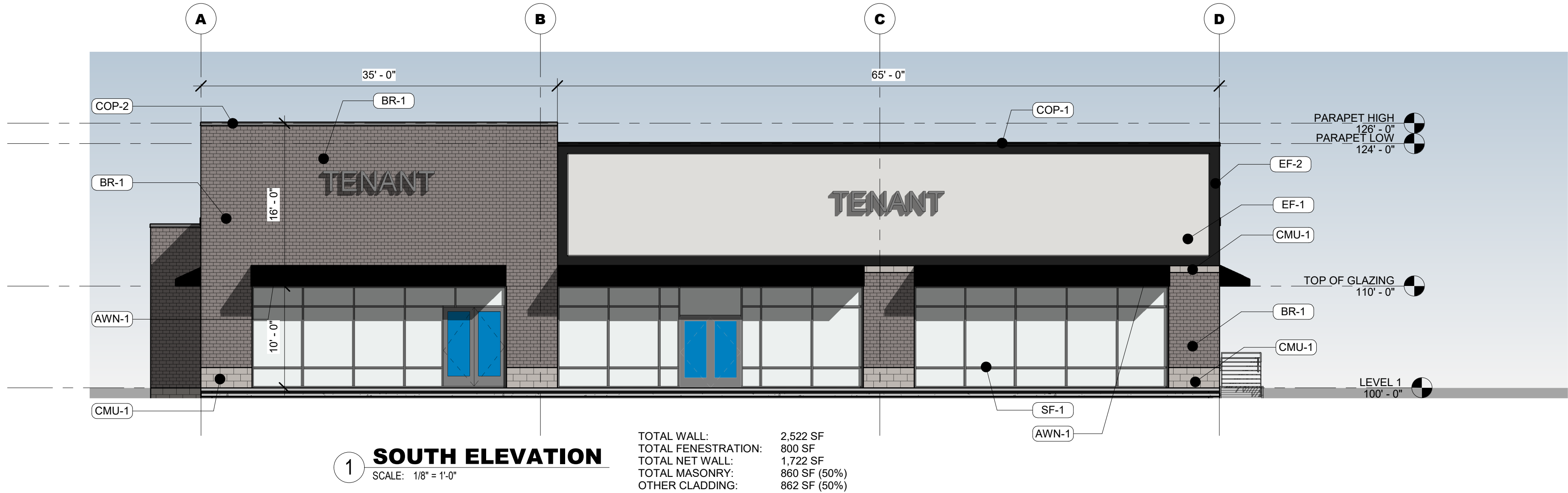
10001 UNIVERSITY

LANDSCAPE PLAN

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5 SW PERSPECTIVE VIEW
SCALE:

GENERAL EXTERIOR ELEVATION NOTES

- REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
- ALL CONDUIT RUNS & SERVICE LINES SHALL BE GROUPED TOGETHER IN A NEAT & ORDERLY MANNER AND SHOULD PENETRATE THE WALL AT THE LOWEST POINT AND ARE NOT TO RUN OVER THE TOP OF PARAPET. ALL OTHER CONDUITS & JUNCTION BOXES FOR EXTERIOR FIXTURES & EQUIPMENT SHALL BE FULLY CONCEALED WITHIN THE BUILDING CONSTRUCTION.
- ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
- ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
- NO EXPOSED MASONRY/MATERIAL CORES. MASONRY RETURNS AT WINDOWS/OPENINGS ARE REQUIRED IF FRAMING IS NOT DEEP ENOUGH TO PROVIDE CLOSURE AT THE BACKSIDE OF MASONRY FOR AN EFFECTIVELY SEALED JOINT.
- MATERIALS ABOVE CANOPIES & AWNINGS TO BE CONTINUED DOWN BEHIND THEM U.O.N., TYP.
- ANY EXPOSED ROOFING MEMBRANE VISIBLE FROM A PUBLIC RIGHT AWAY MUST MATCH THE PRIMARY WALL MATERIAL COLOR.
- INSTALL VERTICAL EXPANSION JOINTS PER STRUCTURAL OR MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING LOCATIONS. VERIFY JOINTS WITH ARCHITECT.
- CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
- INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.
- WHERE EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF PAVING TO BE 1/4" LOWER THAN INTERIOR FINISH FLOOR, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. WHERE DOOR STOOP, 48" OUT FROM DOOR 1:48(2%) MAX. SLOPE, AFTER 48" AWAY FROM DOOR 1:20(5%) MAXIMUM SLOPE TO PUBLIC WAY. (REFER TO CIVIL)
- WHERE NO EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF FINISHED LANDSCAPE A MINIMUM OF 4" BELOW INTERIOR FINISH FLOOR AND 4" BELOW EXTERIOR WALL FLASHING/WEEPS, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. (REFER TO CIVIL)
- ADDRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON MONUMENT SIGN. NUMBERS A MINIMUM 5 INCH CONTRASTING COLOR NUMBERS WITH MINIMUM 1/2" STROKE.
- IF ANY SIGNAGE OR SIGN BASE IS SHOWN IT IS FOR REFERENCE ONLY. FINAL DESIGNS AND/OR ALLOWANCES SHALL BE DETERMINED WITH APPROVED SIGNAGE PERMIT(S).

ACTUAL DETAILS & DIMENSIONS MAY VARY AND ARE SUBJECT TO CHANGE. ALL DRAWINGS ARE SUBJECT TO AUTHORITY HAVING JURISDICTION APPROVAL. SIGNAGE SHOWN DOES NOT REPRESENT ALLOWABLE SIGNAGE PERMITTING/APPROVAL OF ALL SIGNAGE PER CURRENT CITY ORDINANCE BY OTHERS.

EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
AWN-1	AWNINGS, NEW BLACK FABRIC OVER EXISTING METAL FRAME.
BR-1	EXISTING BRICK TO BE STAINED. FINISH: GRAY. NEW BRICK TO MATCH. BRICK TO BE FULL BED AND THIN.
CMU-1	EXISTING CMU. NEW TO MATCH EXISTING.
COP-1	PREFINISHED METAL CAP FLASHING. FINISH: BLACK.
COP-2	PREFINISHED METAL CAP FLASHING. FINISH: GRAY.
EF-1	EIFS SYSTEM. FINISH: OFF-WHITE. INFILL EXISTING REVEAL JOINTS AS REQ'D.
EF-2	EIFS SYSTEM. FINISH: BLACK. INFILL EXISTING REVEAL JOINTS AS REQ'D.
GTR	PREFINISHED METAL GUTTER AND DOWNSPOUT. MATCH EXISTING SIZE & LOCATIONS.
SF-1	EXISTING ALUMINUM STOREFRONT SYSTEM. ALL NEW TO MATCH EXISTING.
VIS	EXISTING GLAZING. ALL NEW TO MATCH EXISTING.

MISC EXTERIOR MATERIAL FINISHES

- TYPICAL U.O.N.
- EXPOSED CONCRETE: GRIND SMOOTH & RUB/COAT WITH CEMENT SLURRY.
 - BOLLARDS: CONCRETE FILLED STEEL BOLLARDS PAINTED SAFETY YELLOW.
 - EXPOSED LINTELS: GALVANIZED & PAINTED TO MATCH ADJACENT MATERIAL ABOVE.
 - METAL STAIRS & RAILINGS: GALVANIZED & PAINTED TO MATCH ADJACENT MATERIAL.
 - SCUPPERS, GUTTERS & DOWNSPOUTS: METAL PREFINISHED TO MATCH ADJ. MATERIAL.
 - CAULKS & SEALANTS: COLOR MATCHED TO ADJACENT MATERIAL.
 - HOLLOW METAL MAN DOORS & FRAMES: PAINTED TO MATCH ADJACENT MATERIAL.
 - LOUVERS: METAL PRE-FINISHED TO MATCH ADJACENT MATERIAL COLOR.

NOT FOR CONSTRUCTION

Rev. #	Issue / Revision	Date
1	SITE PLAN SUBMITTAL	09/25/2024
2	SITE PLAN RESUBMITTAL	10/07/2024

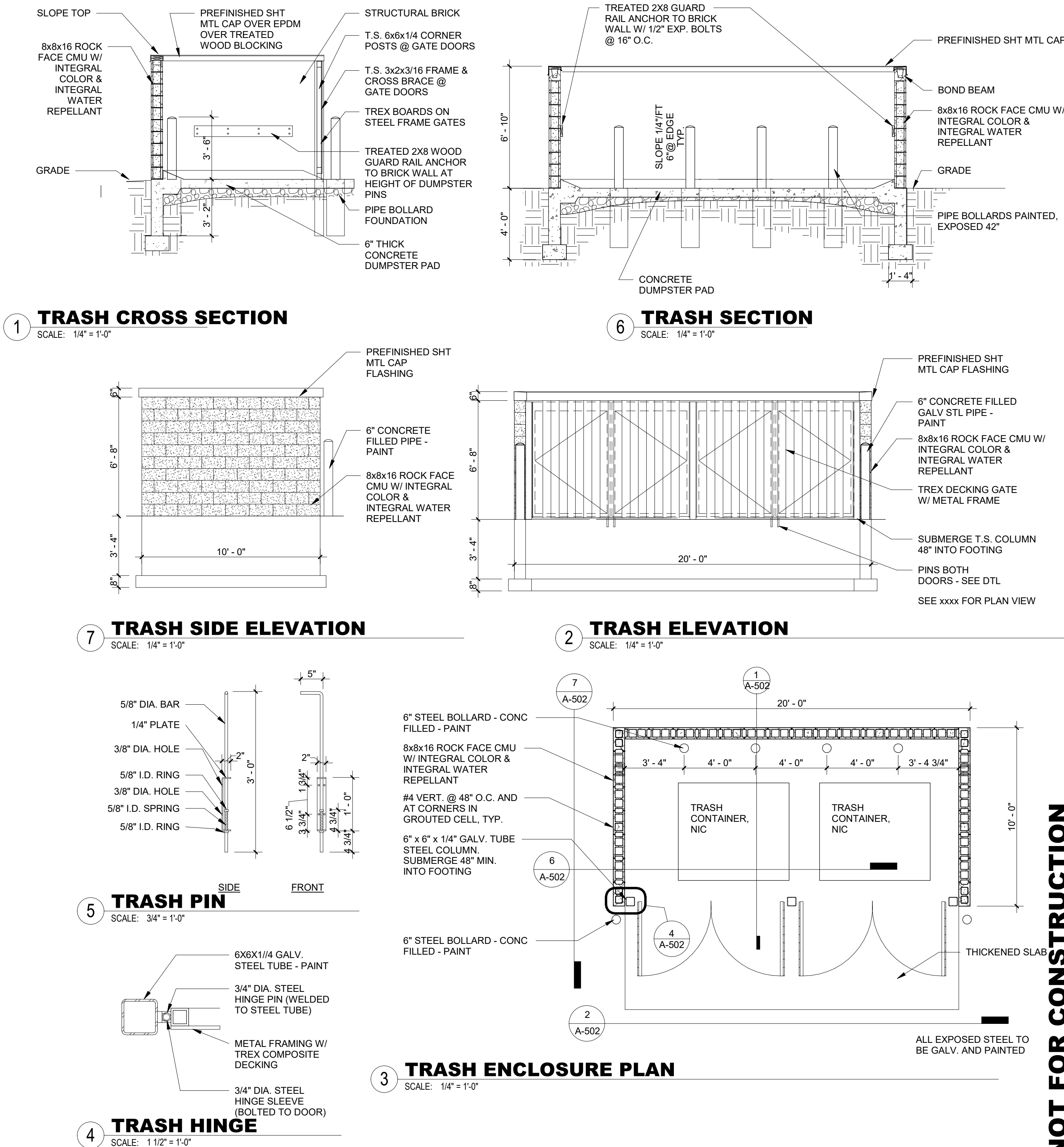
Proj. No. SAA Proj. Mgr.
240333 ARCH

Sheet Title
EXTERIOR ELEVATIONS

Sheet No.

A-201

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10/20/2024 10:51:52 AM



NOT FOR CONSTRUCTION

Rev. #	Issue / Revision	Date
2	SITE PLAN RESUBMITTAL	10/07/2024

Proj. No. SAA Proj. Mgr.
24033 ARCH

Sheet Title
DETAILS
Sheet No.

A-502

UNIVERSITY CENTER
10001 UNIVERSITY
CLIVE, IA

This drawing has been prepared by
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informational drawing only and is intended
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Staff Report

TO: Planning and Zoning Commission members

FROM:

Amanda Grutzmacher, Senior Planner

DATE: November 7, 2024

RE: Amendment to Zoning Ordinance - Commercial Permitted Uses (Schools)

BACKGROUND

With adoption of Iowa's 2023 Students First Act and expanded funding for private education, there is interest from private schools to open in additional locations throughout the state. Staff has been approached by a Head of School interested in locating within Clive. Clive was identified as a desirable location based on a variety of community factors, including population characteristics, school district boundaries, and the academic performance of neighboring public schools.

The City's current zoning regulations only allow schools in residential districts by a special use permit. Uses identified as requiring a special use permit are considered to be a permitted use as long as they can meet the criteria identified for approval of a special use permit. Applications for special use permits are considered by Board of Adjustment. The conditions for granting a special use permit, generally, are the proposed location, design, and operation:

- Safeguards health, safety, and general welfare,
- Not impair light and air,
- Not unduly increase congestion in the streets or public danger of fire and safety,
- Not negatively impact surrounding property values,
- Not unduly burden public utilities.

Based on these recent changes in education in Iowa, staff inquired with City Council on their interest in considering schools in commercial zoning districts and was instructed to proceed with drafting an amendment to the zoning ordinance for consideration.

COMMERCIAL ZONING DISTRICTS

The City currently has five commercial zoning districts, which each have their own purpose identified in the zoning ordinance.

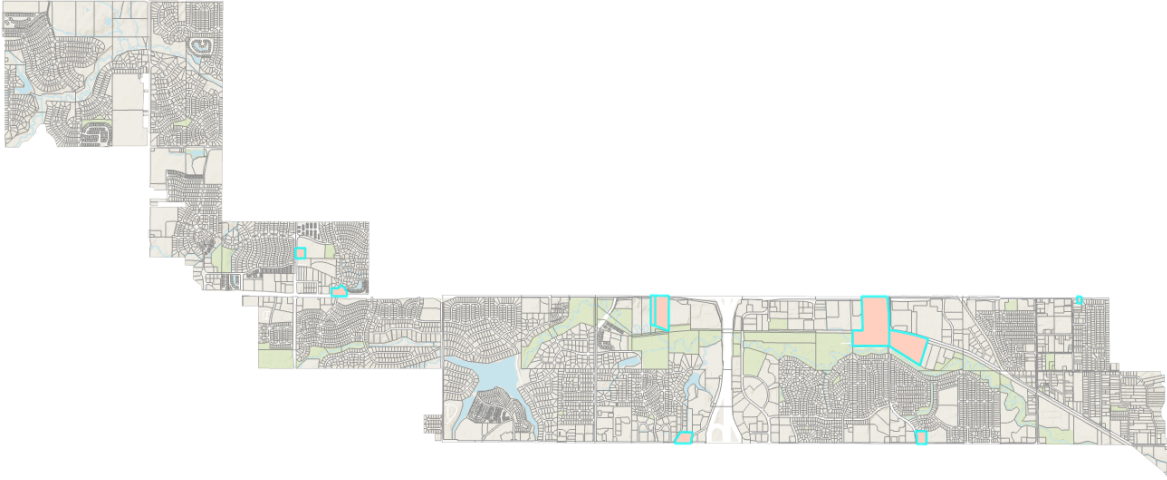
C-1 Convenience Commercial

The Convenience Commercial Zoning Classification is designed to provide for the development of ground that routinely assists the daily needs of the local traveling public.

Areas within the City currently zoned C-1 include:

- Indian Hills Shopping Center,
- Creekside Shopping Center,

- Properties on the west side of NW 100th Street between Hickman Road and the Greenbelt, including properties on Hickman Court,
- Undeveloped property west of Menards and a portion of the outdoor lumber yard,
- North side of Hickman Road and NW 152nd Street intersection,
- 2555 and 2557 NW 156th Street,
- 8170 Hickman Road,
- 11925 University Avenue

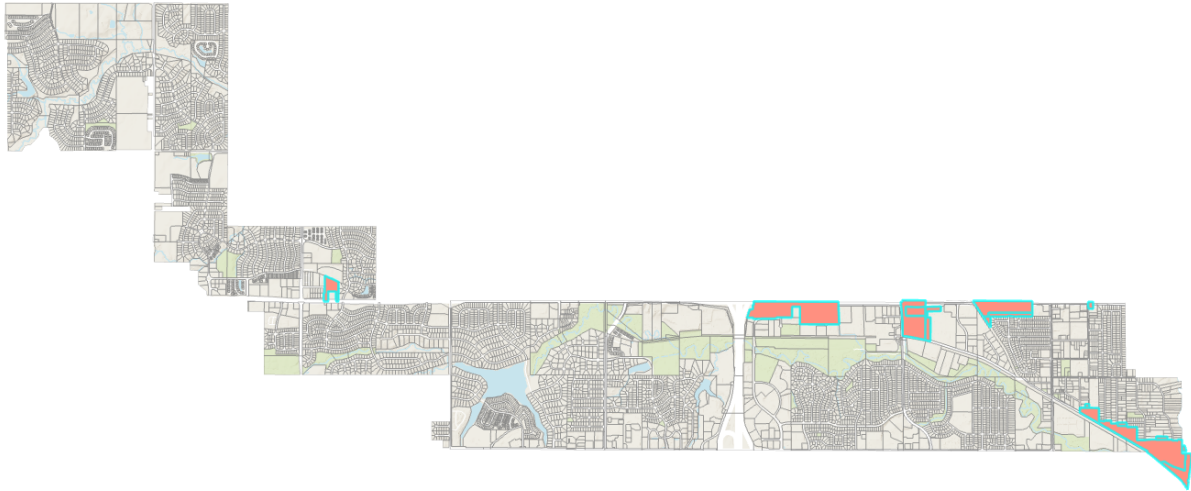


C-2 Community Commercial

The Community Commercial Zoning Classification is designed to accommodate developments that, by nature of business, provide services and commodities that benefit the community at large.

There are six areas within the City currently zoned C-2:

- 8190 Hickman Road,
- University Boulevard and 73rd Street commercial properties,
- Properties on Hickman Road including the Public Safety Facility and west to the railroad,
- Willis Auto Campus properties along Hickman Road and NW 100th Street,
- NW 108th Street properties and west to I-35, excluding properties on the south side of NW 114th Street curve and McCoy apartments,
- Properties on the east side of Emerald Isle Drive, excluding 15205 Hickman Road (former Overhead Door)

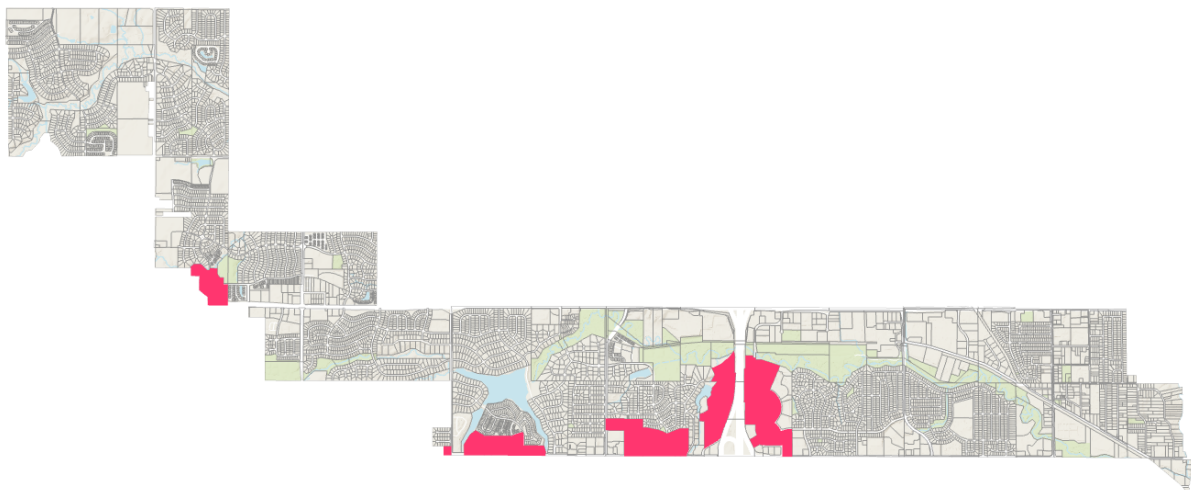


C-3 Planned Office Park Commercial District

The purpose of the C-3 District is to provide certain areas of the City for the development of business, professional, and public service offices, and office buildings as a planned and integrated commercial unit. The C-3 District is designed to be a planned commercial area under single ownership, management, or control, characterized by a grouping of offices and office buildings with various facilities designed to be used in common, such as access drives, parking, loading, lighting, signs, and walks. Any enterprise which cannot wholly enclose its operations within the principal structure shall not be permitted.

There are five areas within the City currently zoned C-3:

- NW 114th Street corridor south of Walnut Creek,
- NW 118th Street corridor south of Walnut Creek,
- Stratford Commons,
- 13000-14000 block of University Avenue, generally,
- Berkshire Commons Office Park



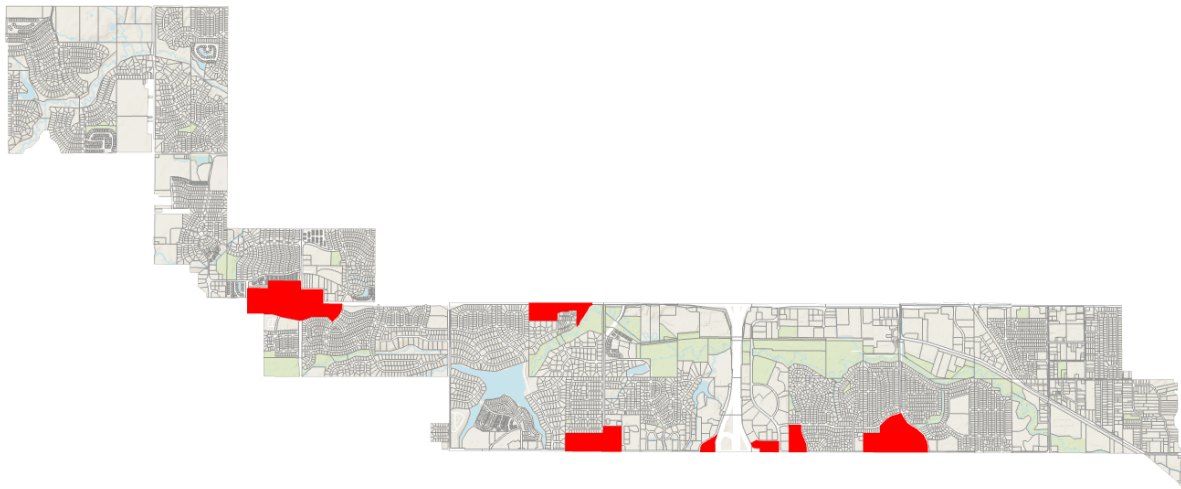
C-4 Planned Shopping Center District

The purpose of the Planned Shopping Center District is to provide land for the orderly and logical development of a complete and intensive shopping center with a broad range of retail and permitted office use, which exhibits a high quality of architectural and

design quality. The development will incorporate high quality materials in unique architectural designs and substantial plantings of trees, shrubs, and other plant materials.

There are six areas within the City currently zoned C-4:

- Westridge Shopping Center and adjacent commercial properties,
- 10901 and 11101 University Avenue,
- Properties on the south side of Forest Avenue,
- Properties on the east side of the University Avenue and NW 118th Street intersection,
- Commercial properties on Hickman Road generally located west of NW 128th Street,
- Commercial properties on Hickman Road generally located around NW 156th Street



C-5 Highway Commercial District

The Highway Commercial District is intended to provide for major business and commercial districts to serve the highway traveling population.

There is one area within the City currently zoned C-5, including Love's Travel Plaza and the east portion of Menards.

CATEGORIES OF SCHOOLS

There are multiple types of schools that the zoning ordinance can consider and may be appropriate in different areas of the City. The North American Industry Classification System (NAICS) identifies seven subcategories under "61 Educational Services," including:

- 6111 Elementary and Secondary Schools;
- 6112 Junior Colleges;
- 6113 Colleges, Universities, and Professional Schools;
- 6114 Business Schools and Computer and Management Training;
- 6115 Technical and Trade Schools;
- 6116 Other Schools and Instruction; and
- 6117 Educational Support Services.

PROPOSED AMENDMENT

Staff recommends the educational industry classifications referenced above be incorporated into the zoning ordinance through addition of definitions and modifications to the permitted uses table. Staff would like the Commission to discuss any concerns they have that may limit appropriate commercial zoning districts for schools.

Addition of Definition and Use for 6111 Elementary and Secondary Schools

Currently, “Schools” is included only in the Residential Permitted Uses Table. Though not explicitly defined in the zoning definitions, staff understands this reference to schools to be conceptualizing elementary and secondary schools (generally serving grades K-12). Elementary (aka primary) or secondary schools include public schools, charter schools, private schools, parochial schools, and military academies.

Within the western metro communities, elementary and secondary schools are generally allowed by special use permit in residential districts in Johnston, Windsor Heights, and Urbandale or as a permitted use in residential districts in Waukee, Grimes, and West Des Moines.

Additionally, Waukee includes elementary and secondary schools as permitted in portions of the Kettlestone development area. West Des Moines and Johnston allow elementary and secondary schools in a variety of commercial districts by special use permit.

Staff’s proposed definition explicitly excludes student housing or dormitories. Student housing would only be permitted within the regulations of the underlying zoning district.

Currently, staff has drafted the proposed ordinance to allow for Elementary and Secondary Schools as a special permitted use in C-1, C-2, C-3, and C-4 Zoning Districts. Elementary and Secondary Schools typically have some level of outdoor recreation area and the C-3 purpose states uses must wholly enclose their operations within the principal structure; however, staffs’ opinion is the special use permit process provides an adequate safeguard and higher standard of review to ensure necessary outdoor spaces are in keeping with the intent of the C-3 district, similar to childcare that is currently allowed by auxiliary use in the C-3 district.

Addition of Definition and Use for Post-Secondary Schools to encompass 6112, 6113, and 6114

In terms of land use impacts and day-to-day operations, Junior Colleges; Colleges, Universities, and Professional Schools; and Business Schools and Computer and Management Training can be grouped into a single category of Post-Secondary Schools. Post-Secondary Schools are not currently defined in the zoning ordinance or identified in any of the Permitted Uses tables.

In recent history, staff is aware of two post-secondary institutions that operated in Clive. William Penn University operated a satellite campus at 1275 NW 128th Street in the C-4 District that closed at the end of 2017 when they relocated to Johnston. ITT Technical

Institute operated a location at 1860 NW 118th Street in the C-3 District that closed in 2016 when ITT filed Chapter 7 bankruptcy. Both institutions were interpreted by staff to be permitted office uses since the land use impacts are generally no different than other types of professional office or services, their operations were fully contained indoors, and they were locating within existing office buildings.

There is little consistency within the western metro communities on where and by what process post-secondary schools are allowed. Generally, most of the communities allow post-secondary schools either as a permitted use or a conditional use in various commercial districts.

Staff's proposed definition explicitly excludes student housing or dormitories, student recreational centers, athletic facilities, and similar supporting uses commonly associated with post-secondary schools. Such supporting uses would be permitted only if the underlying use is permitted within the zoning district, e.g. a student recreation center is permitted where a fitness center would be permitted.

Staff recommends Post-Secondary Schools be identified as a permitted use in the C-1, C-2, C-3, and C-4 zoning districts.

Addition of Definition for 6115 Technical and Trade Schools

The Technical and Trade Schools subcategory includes uses such as cosmetology and barber schools, apprenticeship training, bartending schools, real estate schools, truck driving schools, etc. Generally, these types of schools are appropriate to be located in office and other commercial areas. Staff recommends a definition that identifies Technical and Trade Schools as permitted when the associated land use is allowed, e.g. a barber school would be allowed in any zoning district a barber shop is permitted; a truck driving school would be allowed where related uses such as truck and travel plaza or distribution/warehousing are permitted.

No change to accommodate 6116 Other Schools and Instruction or 6117 Educational Support Services

The Other Schools and Instruction subcategory includes Fine Arts Schools, Sports and Recreation Instruction, Language Schools, Exam Preparation and Tutoring, Automobile Driving Schools, and other Miscellaneous Schools and Instruction like yoga studios. The Educational Support Services subcategory includes uses such as testing services and educational guidance counseling services.

For zoning purposes, staff recommends that these types of instruction and support services are adequately addressed in the Permitted Uses table and no changes are necessary.

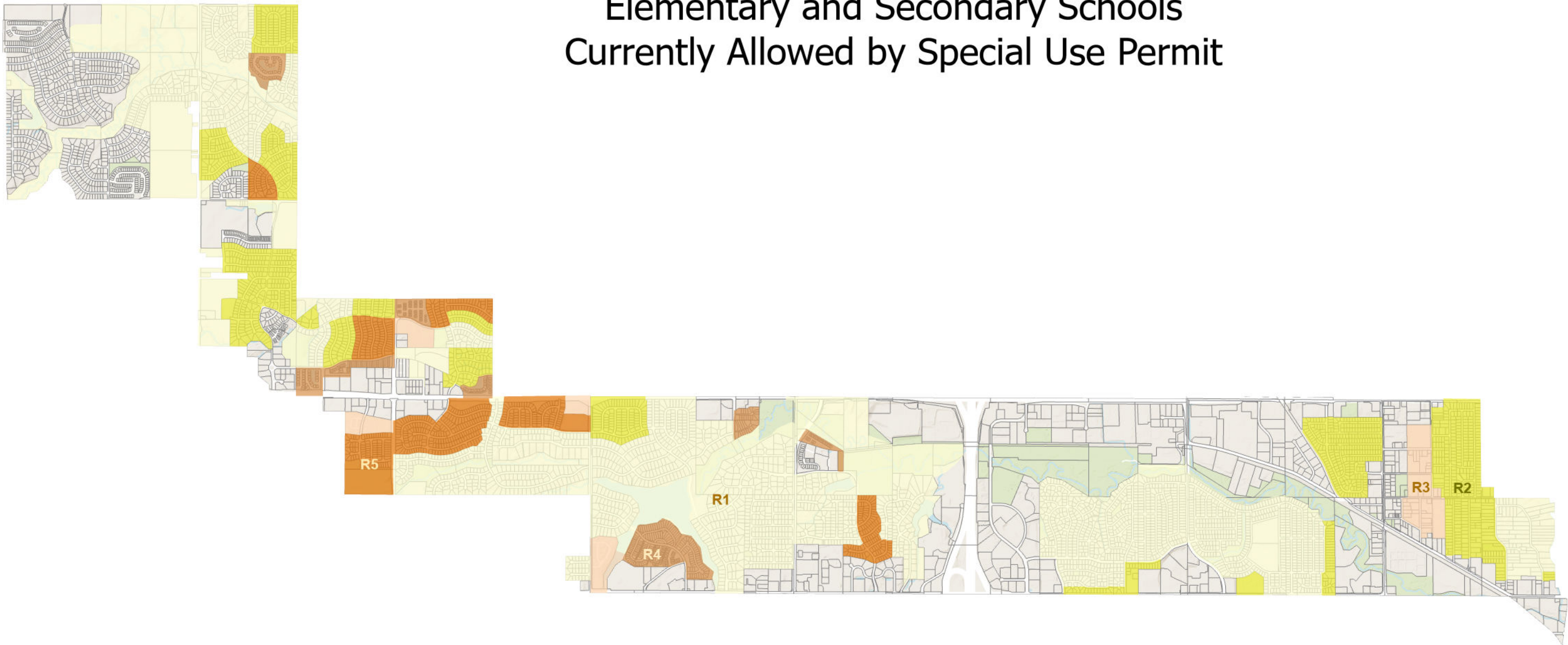
SUMMARY

Staff is requesting the Planning and Zoning Commission provide a recommendation to City Council on appropriate commercial zoning districts for Elementary and Secondary Schools and for Post-Secondary Schools.

Attachments:

1. Elementary and Secondary Schools Currently SUP
2. Ordinance 1156 - Commercial Permitted Uses (Schools)

Elementary and Secondary Schools
Currently Allowed by Special Use Permit



ORDINANCE NO. ____

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CLIVE,
IOWA, 2024, BY AMENDING PROVISIONS OF THE ZONING ORDINANCE
REGARDING PERMITTED USES IN COMMERCIAL DISTRICTS

Be It Enacted by the City Council of the City of Clive, Iowa:

SECTION 1. INTERNAL REFERENCES. All references to section numbers in this ordinance shall be to sections contained with Title 11 in the Zoning Ordinance, unless otherwise specified.

SECTION 2. AMENDMENT- COMMERCIAL DISTRICTS. In Title 11, Chapter 7 (entitled “Commercial Districts”), Section 11-7-4 (entitled “PRINCIPAL PERMITTED USES”), is hereby deleted and the following inserted in lieu thereof:

Principal permitted uses for commercially zoned property are listed in the following table. Where a use is not expressly listed below, the community development director shall have authority to determine if the use is compatible and consistent with the surrounding environment.

Permitted Uses - Commercial					
Use	C-1	C-2	C-3	C-4	C-5
Auditoriums	P	P		A	
Automobile and truck travel plaza					P
Automobile sales and display		P			
Automobile supply (retail)	P	P		P	
Automotive repair	P	P		P	
Automotive wash	P	P		P	P
Bakeries	P	P		C	
Banks	P	P	P	P	P
Building material sales yard, lumberyard		P			P

Childcare, including daycare	P	P	A	A	
Commercial entertainment	P	P			P
Consumer fireworks sales	P	P	P	P	P
Convenience stores/gas stations	P	P		P	P
Dance studio	P	P		P	
Domesticated animal boarding/kennels	P	P		A	
Drinking places	P	P	A	A	
Farm machinery and mobile home sales and repair		P			P
Fitness center	P	P	A	P	
Funeral homes and mortuaries	P	P		P	
Grocery store	P	P		P	
Hair salon	P	P	A	P	P
Hospitals	SP	SP	P		
Hotel, motel or motor lodge	P	P	P	P	
Launderette and similar business using only nonflammable solvents	P	P			P
Laundry, repair, dry cleaning and pick up	P	P	A	P	
Libraries	P	P	P	P	
Medical office, clinic	P	P	P	P	
Millwork		P			
Ministorage		P			
Monument sales and engraving		P			
Movie theater	P	P		P	
Museums	P	P	A	P	
Nurseries and greenhouses	P	P			
Nursing homes	SP	SP			
Photographic studios	P	P		P	
Printing and/or publishing house		P			

Professional offices	P	P	P	P	P
Religious institutions	P	P		SP	
Restaurant, fast food	P	P	P	P	P
Restaurant, fast food drive-through	P	P		P	
Restaurant, full service sit down	P	P	P	P	P
Retail	P	P		P	
Schools, Elementary and Secondary	SP	SP	SP	SP	
Schools, Post-Secondary	P	P	P	P	
Sheet metal shop		P			
Small engine/lawn mower repair shop	P	P			
Storage warehouse, provided no outside storage shall be permitted		P			
Utility substations	SP	SP		SP	SP
Veterinary clinic and hospital	P	P		P	
Key: P = Permitted C = Conditional A = Auxiliary SP = Special Permitted Use					

SECTION 3. AMENDMENT- DEFINITIONS. In Title 11, Chapter 2 (entitled “Definitions”), Section 11-2-1-19 (entitled “Words beginning with “S.”), is hereby amended by adding the following words and terms:

EEE. “Schools, Elementary and Secondary” means an educational institution consistent with NAICS Code 6111 Elementary and Secondary Schools and having an established curriculum the same as ordinary given in the local public school system. Student housing or dormitories are not included in this definition.

FFF. “Schools, Post-Secondary” means an educational institution consistent with NAICS Codes 6112 Junior Colleges, 6113 Colleges, Universities, and Professional Schools, and 6114 Business Schools and Computer and Management Training. Student housing or dormitories, student recreational centers, athletic facilities, and similar supporting uses commonly associated with post-secondary schools are not included in this definition.

GGG: "Schools, Technical and Trade" means an educational institution consistent with NAICS Code 6115 Technical and Trade Schools. For zoning purposes, technical and trade schools shall be interpreted to be the same use category as the job specific training it provides.

SECTION 4. REPEALER. All parts of the "CODE OF ORDINANCES OF THE CITY OF CLIVE, IOWA, 2024" in conflict herewith are hereby repealed.

SECTION 5. SEVERABILITY CLAUSE. If any section, provision, sentence, clause, phrase or part of this Ordinance shall be judged to be invalid or unconstitutional, such adjudication shall not affect the validity of this Ordinance as a whole or any section, subsection, provision, sentence, clause, phrase or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and notice of its passage is given as provided by law.

PASSED AND APPROVED by the City Council on the ____ day of _____, 2024.

Matthew Graham, City Clerk

John Edwards, Mayor

Ordinance No. _____ authenticated this ____ day of _____, 2024.

Matthew Graham, City Clerk

John Edwards, Mayor

Officially published on the ____ day of _____, 2024.

CERTIFIED BY:

Matthew Graham, City Clerk